

Tom Davies Square
200 Brady St

Wednesday, December 6, 2023

PUBLIC HEARINGS

A0126/2023

ALAIN BOCK

Ward: 6

PIN 73503 0209, Parcel 53094 SEC SES SRO, Survey Plan 53R-16413 Part(s) 2 and 3, Lot(s) Part 18, Subdivision M-459, Lot Part 1, Concession 3, Township of Hanmer, 61 Colette Street, Hanmer, [2010-100Z, R1-5 (Low Density Residential One)]

For relief from Part 6, Section 6.3, Table 6.2 of By-law 2010-100Z, as amended, for approval of an existing single family dwelling on the subject property providing a minimum rear yard setback of 5.97m, where a minimum 7.5m setback is required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATION A146/98 (2 NOV 98) AND CONSENT APPLICATION B93/98 (26 OCT 98)

A0127/2023

JENNIFER DOWDALL

Ward: 6

PIN 73507 1423, Parcel 12418 SEC SES, Survey Plan 53R-14192 Part(s) except 5, Lot Part 12, Concession 5, Township of Capreol, 40 Onwatin Lake Road East, Hanmer, [2010-100Z, RS(Rural Shoreline)]

For relief from Part 4, Section 4.2, Table 4.1, Section 4.41, subsections 4.41.2, 4.41.3 and 4.41.4 and Part 9, Section 9.3, Table 9.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to permit existing sunroom additions on the single family dwelling providing, firstly, a high water mark setback of 12.0m for sunroom addition #1, and 21.1m for sunroom addition #2, where no person shall erect any residential building or other accessory structure closer than 30.0m to the high water mark of a lake or river, secondly, to permit sunroom addition #1 to be 12.0m setback from the high water mark of a lake, where only the accessory structures as set out in subsection 4.41.2, boat launches, marine railways, waterlines and heat pump loops are permitted within 20.0m of a high water mark and the area permitted to be cleared of natural vegetation in Section 4.41.3 and thirdly, a minimum easterly interior side yard setback of 1.17m with eaves encroaching 0.2m into the proposed 1.17m easterly interior side yard setback, where 3.0m is required, and where eaves may encroach 0.6m into the required interior side yard but not closer than 0.6m to the lot line.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A66/84 (22 MAY 84) AND A311/77 (19 SEP 77)

A0128/2023

ANDREW INCH

Ward: 1

PIN 73589 0346, Parcel 18278 SEC SES, Lot(s) Part 280, Subdivision M-99, Lot Part 7, Concession 2, Township of McKim, 723 St. Clair Street, Sudbury, [2010-100Z, R2-3(Low Density Residential Two)]

For relief from Part 5, Section 5.5.3 of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, to allow the existing triplex providing zero (0) parking spaces, where three (3) parking spaces are required.

PREVIOUSLY SUBJECT TO MINOR VARIANCE APPLICATIONS A136/86 (21 JUL 86) AND A577/68 (14 FEB 68)

THIS APPLICATION WAS DEFERRED FROM THE MEETING OF OCTOBER 12, 2023 TO AFFORD THE APPLICANTS THE OPPORTUNITY TO ADDRESS OPEN LANDSCAPE REQUIREMENTS.

A0114/2023

1039512 ONTARIO LTD.

"REVISED"

Ward: 1

PIN 73587 0349, Parcel 23076 SEC SES, Survey Plan 53R-13123 Part(s) 4, 6, 7, 10, 11, 12, 13, 14 and 15, Lot(s) 186, 187 and 188, Subdivision M-133, Lot Part 9, Concession 2, Township of McKim, 0 Ronald Avenue, Sudbury, [2010-100Z, R2-3 (Low Density Residential Two)]

For relief from Part 4, Section 4.2, subsection 4.2.6 c) of By-law 2010-100Z, being the Zoning By-law for the City of Greater Sudbury, as amended, in order to construct an approximate 415 sq.m. dwelling with attached garage on the subject property providing firstly, a maximum garage width of 74% of the lot frontage, where a maximum garage width of 50% is permitted facing a front lot line.

**A REMINDER... THE NEXT SCHEDULED MEETING IS
WEDNESDAY, DECEMBER 20, 2023**



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

Office Use Only 2023.01.01	
AQ 126/2023	
S.P.P. AREA	
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
NDCA REG. AREA	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the *Planning Act*, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): <u>Alain Bock</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>61 Colette Street, Hanmer</u>	Home Phone: <u>[REDACTED]</u>
	Business Phone: <u>[REDACTED]</u>
City: <u>Sudbury</u>	Postal Code: <u>P3P 1K2</u> Fax Phone: <u>[REDACTED]</u>

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: <u>Brianne Powell</u>	Email: <u>[REDACTED]</u>
Mailing Address: <u>1 James Street South</u>	Home Phone: <u>[REDACTED]</u>
<u>61 Colette Street, Hanmer, Ontario P3P 1K2</u>	Business Phone: <u>[REDACTED]</u>
City: <u>Hamilton</u>	Postal Code: <u>L9P 4R5</u> Fax Phone: <u>[REDACTED]</u>

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: <u>Computershare Trust Company of Canada</u>	
Mailing Address: <u>8th Floor, 100 University Avenue</u>	
City: <u>Toronto, Ontario</u>	Postal Code: <u>M5J 2Y1</u>

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R1-5 (Low Density Residential)

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Allow rear yard depth of 5.97m	minimum 7.5m	5.97m	approx. 1.5m

- b) Is there an eave encroachment? ☐ Yes ☒ No If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal:

Allow for approximate deficiency of 1.5m to the rear yard depth, which currently measures at 5.97m.

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

The backyard of the property does not comply with Zoning By-Law 2010-100Z. The rear yard setback on the survey provides 5.97m in depth where 7.5m is the minimum requirement. Therefore, a minor variance is required for minimum rear yard depth.

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- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73503-0209(LT)		Township: Hanmer		Ontario
Lot No.: 1	Concession No.: 3	Parcel(s): 53094		
Subdivision Plan No.: M459	Lot: 18	Reference Plan No.: 53R16413	Part(s): 2,3	
Municipal Address or Street(s): 61 Colette Street, Hanmer, Ontario P3P 1K2				

- 7) Date of acquisition of subject land. 2023/ 01/27

- 8) Dimensions of land affected.

Frontage 27.432 (m) Depth 22.805 (m) Area 520.068 (m²) Width of Street 20.1168 (m)

- 9) Particulars of all buildings:

	Existing dwelling (house)	Garage
Ground Floor Area:	106.795 (m ²)	48.774 (m ²)
Gross Floor Area:	106.795 (m ²)	48.774 (m ²)
No. of storeys:	1	1
Width:	12.802 (m)	6.4008 (m)
Length:	8.8392 (m)	7.6200 (m)
Height:	4.8768 (m)	3.8100 (m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing Dwelling (house)	Garage
Front:	8.016 (m)	20.726 (m)
Rear:	5.974 (m)	1.8 (m)
Side:	13.898 (m)	1.8 (m)
Side:	1.31 (m)	21.031 (m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input checked="" type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input checked="" type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

1999

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential Length of time: 23 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or,

- 15) What is the number of dwelling units on the property?

1 Dwelling and 1 Garage

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes☒ No

If "yes", how many?

- 17) Existing uses of abutting properties:

Residential

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- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☒ Yes ☐ No

If "yes", provide details on how the property is designated in the Source Protection Plan. Located in the Nickle District

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Alain Bock

(please print all

names), the registered owner(s) of the property described as

PCL 53094 SEC SES SRO; PT LT 18 PL M459

HANMER PT 2 & 3 53R16413; S/T LT134202

in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Brianne Powell (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf. 11/8/2023

Dated this _____ day of _____, 20_____

DocuSigned by:

Nicole Pellizzari

CFE2CA3B8DAD1D

(witness)

Nicole Pellizzari

DocuSigned by:

Alain Bock

CD5049184224FF

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: _____

*I have authority to bind the Corporation

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PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Alain Bock (please print all names),

the registered owner(s) or authorized agent of the property described as PCL 53094 SEC SES SRO; PT LT 18 PL M459

HANMER PT 2 & 3 53R16413; S/T LT134202

in the City of Greater Sudbury:


solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

11/8/2023

Dated this _____ day of _____, 20____

DocuSigned by:
Nicole Pellizzari
ECF2C43BF8D2400

Commissioner of Oaths
Nicole Pellizzari

DocuSigned by:

 CDE5191P4224EE

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: _____
 *I have authority to bind the Corporation _____

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: NOV 14/23 Hearing Date: Dec 6/23 Received By: S. Pinkerton
Zoning Designation: R1-5 Resubmission: ☐ Yes ☒ No
Previous File Number(s): See below
Previous Hearing Date:
Notes:
B0093/1998 (Oct 26/98)
A0146/1998 (Nov 2/98)

AO126/2023



A0126/2023



A0126/2023



Rear of garage

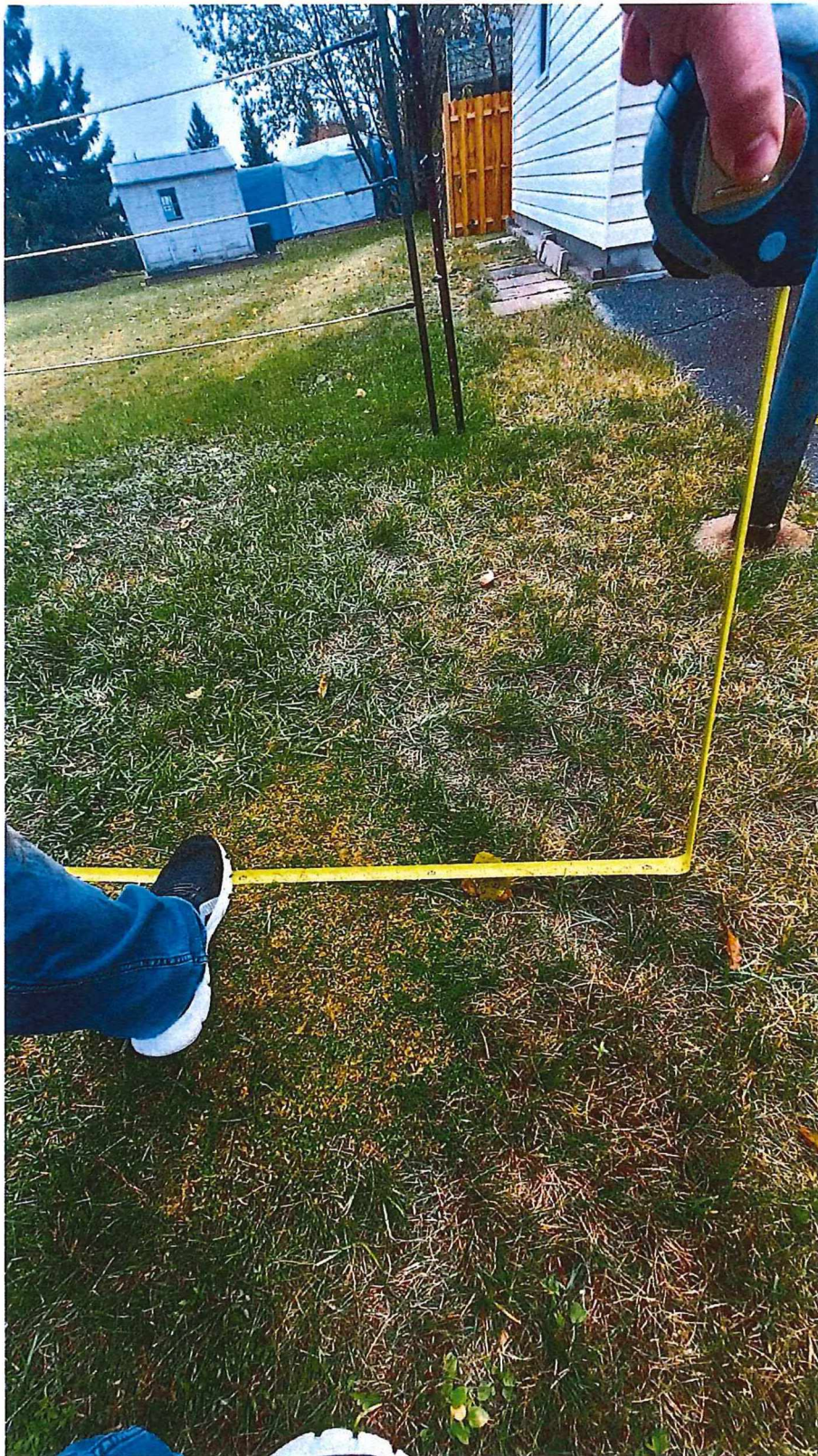
Distance between garage and
approximate lot line (fence
with rope) = 6 ft



A0126/2023



A0126/2023



A0126/2023



A0126/2023

**PAID**

JAN 10 2023

**PROPERTY SEARCH REQUEST
(Residential)****BUILDING SERVICES
SECTION**

To: Property Research, Building Services
City of Greater Sudbury
200 Brady Street, PO Box 5000, Stn A
Sudbury, ON P3A 5P3

Telephone No.: 705-674-4455, Ext. 4273
Fax No.: 705-675-1075
Email: donna.wall@greater Sudbury.ca

From: Poulson Law
125 Durham Street
Sudbury ON P3E 3M9

Closing Date: 01/17/2023
Submission Date: 01/10/2023
File: 221057/Bock

Contact Person: Stacey
Telephone No.: [REDACTED]
Fax No.: [REDACTED]
E-Mail: [REDACTED]

Present Owner: Rorison
Roll Number: 5307170 01805501
Year Built: 1999

\$145.00 FEE PAYABLE TO THE CITY OF GREATER SUDBURY

Two updates are permitted within one year from date of original search without charge. A service charge of \$35.00 will apply to any further updates. A new request is required after one year. Twenty-one business days are required to process this search.

(TO BE COMPLETED BY APPLICANT)

MUNICIPAL ADDRESS OF PROPERTY TO BE SEARCHED: 61 Colette St Hanmer

LEGAL DESCRIPTION

Parcel No.: 53094 Township: Hanmer Conc.: 3 Lot: 1
Registered Plan No.: M459 A Lot: 18 Reference Plan No.: 53R16413 Part(s): 2,3

CURRENT USE:

What is the current use of the building?
How many residential units are currently in use?
How many commercial units are currently in use?

SFD
Unknown
N/A
N/A

(FOR OFFICE USE)**CURRENT USE:**Does the current use align with Building Services Records? Yes ☒ No ☐ Unknown ☐SURVEY PLAN SUBMITTED: YES ☐ Date of Survey: NO ☒

Are there any outstanding orders under the Ontario Building Code Act? Yes ☐ No ☒ Unknown ☐
(Details Attached)

1. Are there any orders prohibiting occupancy of building? Yes ☐ No ☒ Unknown ☐
(Details Attached)

2. Are there any outstanding tickets under the Ontario Building Code Act? Yes ☐ No ☒ Unknown ☐
(Details Attached)

A0126/2023

3. Building Permits Issued:

No.: 99-05416	Description: Single Family Dwelling with	Completion Date: 1999-11-13
No.: _____	Description: Deck	Completion Date: _____
No.: 20-0993	Description: Detached Garage	Completion Date: 2020-10-22
No.: _____	Description: _____	Completion Date: _____
No.: _____	Description: _____	Completion Date: _____
No.: _____	Description: _____	Completion Date: _____
No.: _____	Description: _____	Completion Date: _____

Applicable Zoning By-law Numbers and Effective Dates:

<input type="checkbox"/> 58-104 Aug. 26, 1958	<input checked="" type="checkbox"/> 83-300 July 13, 1983	<input type="checkbox"/> 95-500Z July 12, 1995
<input type="checkbox"/> 62-192 Feb. 26, 1963	<input type="checkbox"/> 83-301 July 11, 1984	<input type="checkbox"/> 2001-24Z Jan. 1, 2001
<input type="checkbox"/> 64-5 Mar. 3, 1964	<input type="checkbox"/> 83-302 Feb. 25, 1987	<input type="checkbox"/> 2001-25Z Jan. 1, 2001
<input type="checkbox"/> 69-124 Dec. 29, 1969	<input type="checkbox"/> 83-303 Mar. 12, 1986	<input checked="" type="checkbox"/> 2010-100Z Sept. 29, 2010
<input type="checkbox"/> 76-327 Dec. 22, 1976	<input type="checkbox"/> 83-304 c 9, 1987	

3. The property is zoned: B1-5 (Low Density Residential (One))

Designated Flood Plain: Yes ☐ No ☒ Flood Plain _____ Flood Fringe _____

(For further information contact Conservation Authority at 705-674-5149)

5. Does the location of the structure(s) comply with current zoning regulations?

Yes ☐ No ☒ Unknown ☐ Committee of Adjustment Decision _____

6. Is location of the structure(s) legal existing? Yes ☐ No ☒ Unknown ☐ **Rear yard setback on survey provides 19.6' where 24.6' is required. A minor variance is required for setback.*

7. Is location of the structure(s) legal non-complying? Yes ☐ No ☐ Unknown ☒ *N/A. For setback*

8. Is location of the structure(s) in a vulnerable area? Yes ☒ No ☐ Unknown ☐ **Based on archived OLS survey dated Aug 4/99 (see attached)*

(For further information contact Water/Wastewater at 705-674-4455, ext. 3600)

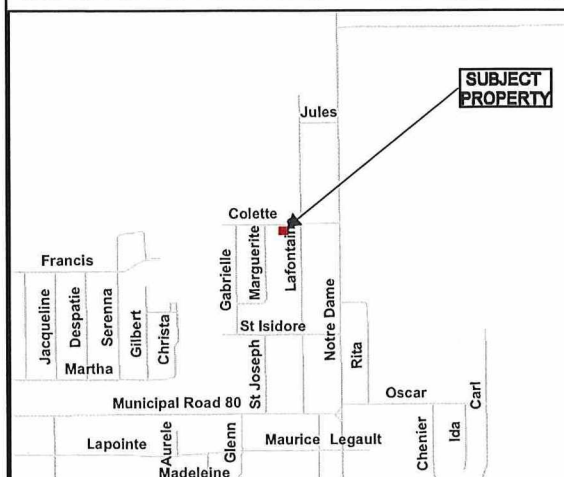
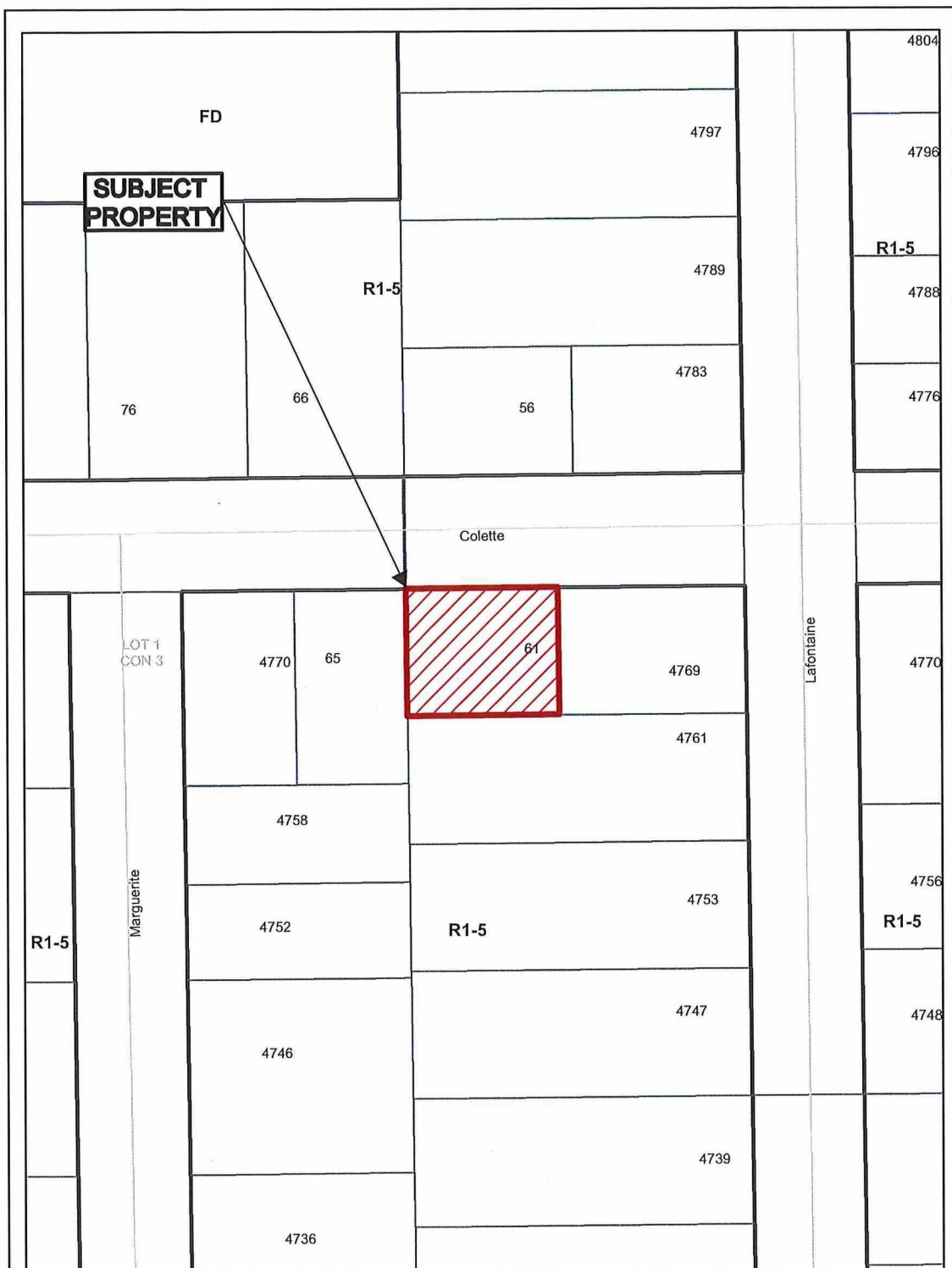
9. Have development charges been deferred? Yes ☐ No ☒ Unknown ☐

The above information is limited to our Building Services' files and information submitted. It does not include possible Occupancy Standard By-law violations. We have attempted to be as accurate as possible in providing the above information but can assume no liability for its correctness. The City of Greater Sudbury shall not be prevented from taking any required action if information is forthcoming indicating building or zoning infractions exist.

[Signature]
PROJECT RESEARCH CLERK

Apr. 17/23
DATE

A0126/2023



Application for Minor Variance or Permission



Subject Property PIN 73503-0209,
Parcel 53094 SEC SES SRO,
Part Lot 18, Plan M-459, Part 2 & 3,
Plan 53R-16413, Part Lot 1,
Concession 3, Township of Hanmer,
61 Colette Street, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
MNR

A0126/2023
Date: 2023 11 16

SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 18
REGISTERED PLAN M-459
BEING: PARTS 2 & 3, 53R-16413
TOWNSHIP OF HANMER
CITY OF VALLEY EAST
REGIONAL MUNICIPALITY OF SUBURBY
SCALE: 1 INCH = 20 FEET

1999

DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND
BE CONVERTED TO METERS BY MULTIPLYING BY 0.30

LEGEND:

11 SERVICEMANMENT FOUND
 12 SERVICEMANMENT PLUMBER
 13 SERVICEMANMENT BORN BAR
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ASSOCIATION OF ONT
LAND SURVEYORS
PLAN SUBMISSION FOI
1254035



THIS PLAN IS NOT VALID
UNLESS IT IS AN EXACT
ORIGINAL COPY
ISSUED BY THE SURV
IN ACCORDANCE WITH
REGULATION 1024, SECTION

BEARING NOTE:

BEARING AREA
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO PART OF
SOUTHERLY LINE OF COLETTE STREET, PLAN 532-18413
HAVING A BEARING OF N89°33'15"E

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2) THE SURVEY WAS COMPLETED ON JULY 30, 1979

AUGUST 4, 1929

A BERTOLUSSI. OL

REPORT

THIS PLAN & REPORT IS PREPARED FOR VR GILES LEASE

DESCRIPTION:

PARTS 53014 SES. BEING PART OF LOT 12, REG'D PLAX
BEING PARTS 2 & 3, 53R-16413

REGISTERED EASEMENTS AND/OR RIGHTS-G.
EASEMENT 1134:02 -- PART 3. 332-16413 -- BOLL 2

COMPLIANCE WITH MUNICIPAL ZONING BY-L
NOT CERTIFIED BY THIS REPORT

NOTES:

TIES TAKEN TO THE FOUNDATION

BORTOLUSSI
SURVEYING

FILE:

AO126/2023
sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

Office Use Only 2023.01.01	
A0127/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Jennifer Dowdall	Email: [REDACTED]
Mailing Address: 40 Onwatin Lake Road	Home Phone: [REDACTED]
	Business Phone:
City: Hanmer	Postal Code: P3P 1J4
	Fax Phone:

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: N/A	Email:
Mailing Address:	Home Phone:
	Business Phone:
City:	Postal Code:
	Fax Phone:

Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Royal Bank of Canada
Mailing Address: 5118 Highway 69 N Unit 3.
City: Hanmer, ON
Postal Code: P3P 0C8

- 4) Current Official Plan designation: Rural Current Zoning By-law designation: Rural Shoreline

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Existing enclosed sunroom setback from highwater	30 m	12m	18m
Existing enclosed sunroom in shoreline buffer area	Not permitted	Permitted	
Existing addition #2 setback from highwater	30m	21.1m	8.9m
Existing addition #2 interior sideyard (East)	3.0m	1.17m	1.83m

- b) *eaves on existing dwelling on East side = 0.2m.*
Is there an eave encroachment? ☒ Yes ☐ No If 'Yes', size of eaves: (m)

- c) Description of Proposal:

Two existing enclosed sunroom additions (one in rear yard and one in East interior side yard) *within the high water mark.*

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law:

Size of lot - narrow lot and as such causes setback issues (by-law states minimum lot frontage of 45.0m, however lot is approx 16m wide)
Home is legal non complying within 30 m setback of waterbody.

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): 73507-1423		Township: Capreol	
Lot No.: 12	Concession No.: 5	Parcel(s): 12418 SES	
Subdivision Plan No.:	Lot:	Reference Plan No.:	Part(s):
Municipal Address or Street(s):			

- 7) Date of acquisition of subject land. April, 2012

- 8) Dimensions of land affected.

Frontage 15.2 (m) Depth 78.9 (m) Area 1,199.28 (m²) Width of Street 20.12 (m)

- 9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	Please see attached schedule (m ²)	(m ²)
Gross Floor Area:	(m ²)	(m ²)
No. of storeys:		
Width:	(m)	(m)
Length:	(m)	(m)
Height:	(m)	(m)

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	Please see attached schedule (m)	(m)
Rear:	(m)	(m)
Side:	(m)	(m)
Side:	(m)	(m)

- 11) What types of water supply, sewage disposal and storm drainage are available?

What type of access to the land?

Municipally owned & operated piped water system	<input type="checkbox"/>	Provincial Highway	<input type="checkbox"/>
Municipally owned & operated sanitary sewage system	<input type="checkbox"/>	Municipal Road	<input type="checkbox"/>
Lake	<input type="checkbox"/>	Maintained Yearly	<input checked="" type="checkbox"/>
Individual Well	<input checked="" type="checkbox"/>	Maintained Seasonal	<input type="checkbox"/>
Communal Well	<input type="checkbox"/>	Right-of-way	<input type="checkbox"/>
Individual Septic System	<input checked="" type="checkbox"/>	Water	<input type="checkbox"/>
Communal Septic System	<input type="checkbox"/>	If access is by water only, provide parking and docking facilities to be used.	
Pit Privy	<input type="checkbox"/>		
Municipal Sewers/Ditches/Swales	<input type="checkbox"/>		

- 12) Date(s) of construction of all buildings and structures on the subject land.

Dwelling 1980 Garage 1984 Shed 2000 Sunrooms (2) 2018 (to be legalised)

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): Residential /single family dwelling Length of time: 40 years

- 14) Proposed use(s) of the subject property.

Same as #13 ☐ or, _____

- 15) What is the number of dwelling units on the property? 1

- 16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

If "yes", how many? _____

- 17) Existing uses of abutting properties: Residential/single family dwellings

A0127/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☒ Yes ☐ No

If "yes", indicate the application number(s): A0311/1977, A0066/1984, A0069/2020 (deferred then not pursued)
or, describe briefly, fourth MV not available from city archive

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Jennifer Dowdall (please print all names), the registered owner(s) of the property described as PIN 73507-1423, Part of Lot 12, Con.5, Twp. Capreol, Municipal #40 Onwatin lake Road in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize N/A (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14 day of November, 20 23

Christine Fube
(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Jennifer Dowdall

*I have authority to bind the Corporation

A0127/2023

PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Jennifer Dowdall _____ (please print all names),


the registered owner(s) or authorized agent of the property described as PIN 73507-1423, Part of Lot 12, Con.5, Twp. Capreol,

Municipal #40 Onwatin lake Road

in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 14 day of November, 2023


Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy Clerk for the City of Greater Sudbury.

signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

Print Name: _____

*I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Nov 14/23 Hearing Date: Dec 6/23 Received By: S. Pinkerton

Zoning Designation: RS1 Resubmission: ☐ Yes ☒ No

Previous File Number(s): See below

Previous Hearing Date:

Notes:

A 69/20 - Deferred/Expired

A 66/84 (May 22/84)

A 311/77 (Sep 19/77)

AO127/2023

Schedule to Application by Jennifer Dowdall – 40 Onwatin Lake Road, Hanmer, P3P 1J4

9) Particulars of all buildings and 10) Location of all buildings:

Existing

Dwelling:

Ground floor area: 149 m²
Gross floor area: 223 m²
No. of storeys: 2
Width: +/- 7.4m
Length: +/- 21.0m
Height: +/- 9.1m

Front: 45.85m

Rear: ~~16.5m~~ 15.58m

East Side: 3.81m

West Side: 3.63m

Garage

Ground floor area: 23.25 m²
No. of storeys: 1
Width: +/- 3.75m
Length: +/- 6.2m
Height: +/- 3.2m

Front: 10m

East Side: +/- 7.69m

West Side: +/- 3.8m

Rear: 72.7m

Shed

Ground floor area: 4m²
No. of storeys: 1
Width: +/- 2.16m
Length: +/- 1.8m
Height: +/- 2.6m

West Side: +/- 1.32m

East Side: 11.72m

Front: 43.1m

Rear: 34m

Relief for existing enclosed sunroom #1: - proposed

Ground floor area: 18.76 m²

Gross floor area: 37.52m²

No. of storeys: 1 with walk out below with same dimensions as top

Width: 5.24m

Length: 3.58m

Height: 5.4m

Front: N/A

Rear: 12.0m

East Side: 5.5m

West Side: 4.5m

Relief for existing addition #2 - proposed.

Ground floor area: 15.93m²

No. of storeys: 1

Width: 2.73m

Length: 5.90m

Height: 3.52m

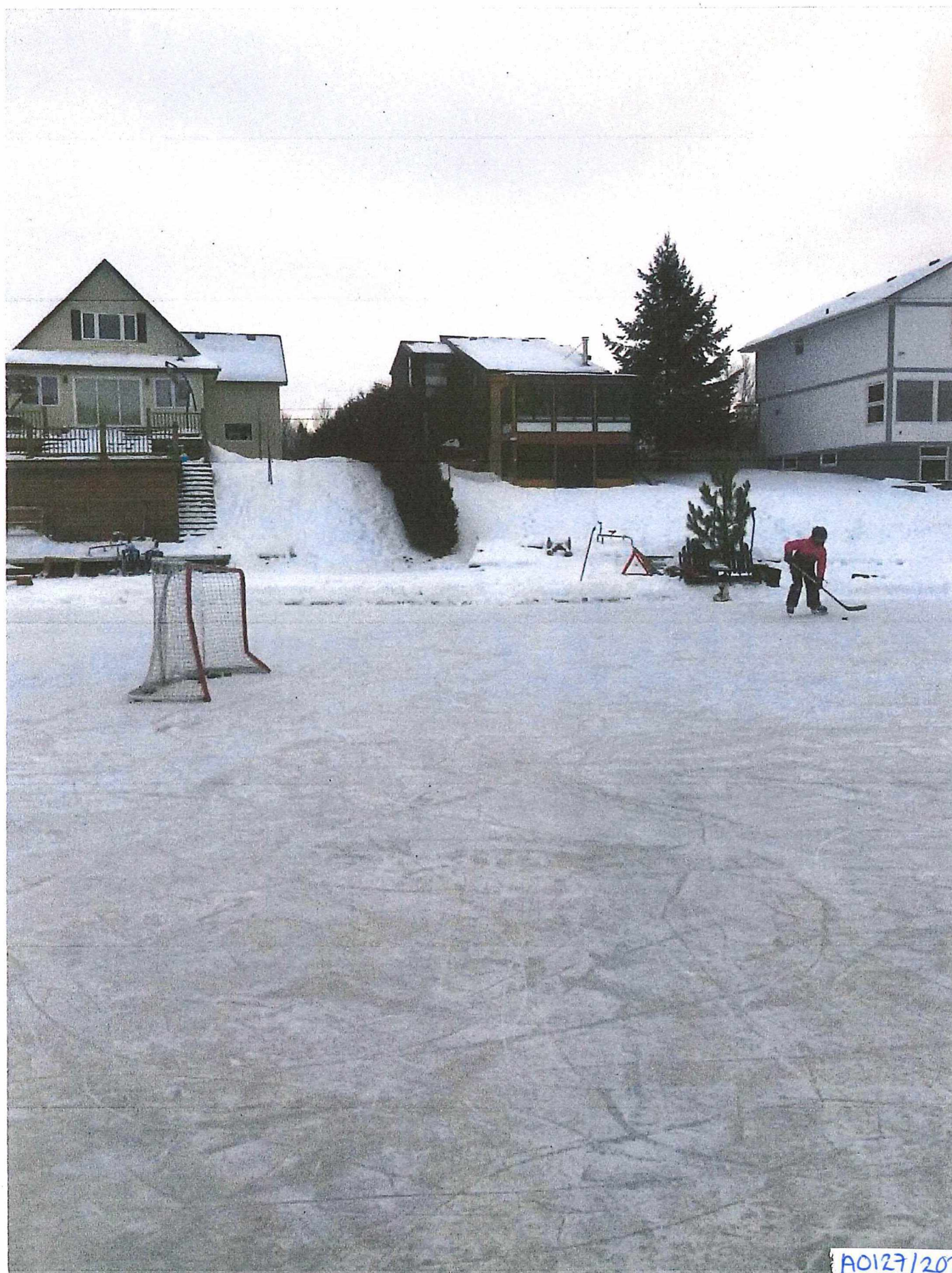
Front: 52.0m

Rear: 21.1m

East Side: 1.17m

West Side: N/A

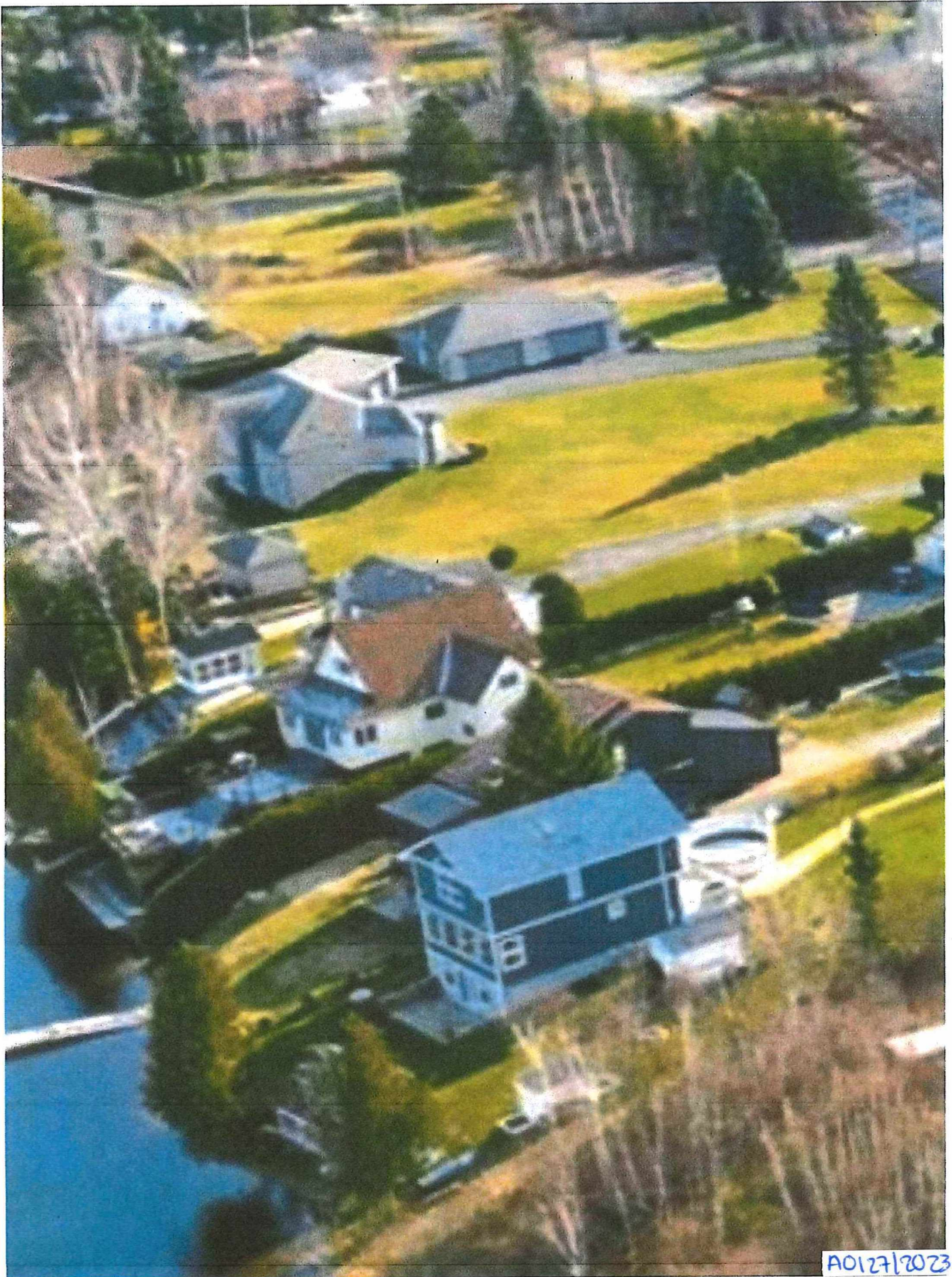
A0127/2023



AO127/2023



A012712023



A0127/2023

Google Maps



Imagery ©2023 Maxar Technologies, Map data ©2023 Google 10 m

To Whom it May Concern:

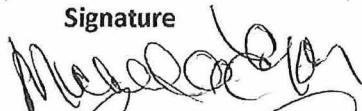
We the undersigned area residents have reviewed the Application for Minor Variance submitted by Jennifer Dowdall on November 14, 2023 to be heard by the committee on December 6, 2023 to seek relief from the by-laws for two existing additions (one in rear yard at the lake and one on East interior side yard) yard at #40 Onwatin Lake Road, being part of Lot 12, Con. 5, Capreol Township, City of Greater Sudbury and are not opposed to the application:

Name

Signature

Address

Michelle Tryon



99 Onwatin Lak
Rd East

Perry Rietze



240 Onwatin Lake Rd

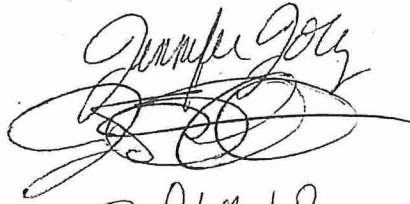
Lori Rietze



" "
228 Onwatin Lake Rd East

Chris Morin

Jennifer Joly



210 Onwatin Lake Rd East

JEFF BILTON

160 ONWATIN LAKE RD EAST

Gloria Staskus



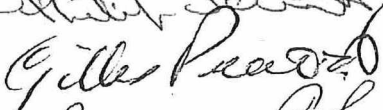
144 Onwatin Lake Rd E

Philip Scavone



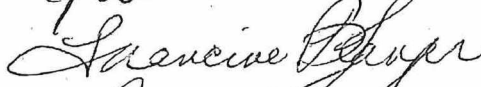
152 ONWATIN LAKE RD EAST

Gilles Péroval



96 Onwatin Lake Rd
705-969-3808

Francine Bélanger



60 Onwatin Lake Rd

Lisa Y Duff



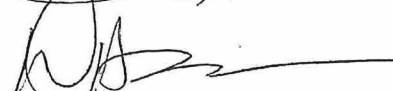
25 Onwatin Lake Rd E.

DIANE HANSON



12 Onwatin Lake Pl. E.

Douglas Hanson



28 Onwatin Lake Rd E.

Lynne Dubeau



32 Onwatin Lake Rd E

A0127/2023

**SUBJECT
PROPERTY**

OSC
LOT 12
CON 5

Onwatin Lake

32

40

48

54

60

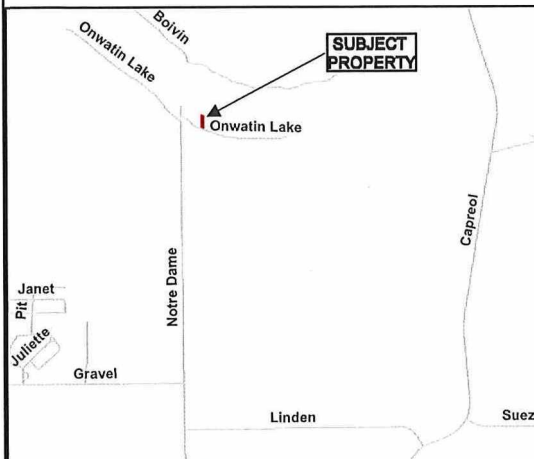
R8

LOT 12
CON 5

Onwatin Lake

25

RU



Application for Minor Variance or Permission




Subject Property PIN 73507-1423,
Parcel 12418 SEC SES, Part Lot 12, Concession 5,
except Part 5, Plan 53R-14192, Township of Capreol,
40 Onwatin Lake Road East, Hanmer,
City of Greater Sudbury

Sketch 1, NTS
MNR

A0127/2023
Date: 2023 11 16

SCALE 1:300

0 5 10 15 20 METRES



THIS IS NOT A PLAN OF SURVEY AND SHOULD ONLY BE USED FOR THE PURPOSE NOTED IN THE TITLE BLOCK.

FIELD SURVEY WORK WAS COMPLETED ON FEBRUARY 20, 2020.

DUE TO WINTER SNOW CONDITIONS, EXISTING DRIVEWAYS & PAVED ROAD SHOWN HEREON, ARE DERIVED FROM GOOGLE EARTH AERIAL SATELLITE IMAGERY DATED AUGUST 2015.

D.S.		ONTARIO LAND SURVEYORS GEOMATICS PROFESSIONALS	
DORLAND LIMITED			
298 LARCH STREET SUDBURY, ONTARIO, P3B 1M1 PHONE (705) 525-1881 WWW.DSDORLANDLIMITED.CA			
PREPARED BY :	SCALE :	1:300 METRIC	
REVISION DATE :	CAD FILE :	18158-SKETCH.dwg	
DATE :			

AD127/2023
Sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

Office Use Only 2023.01.01	
A0128/2023	
S.P.P. AREA	
YES	NO <input checked="" type="checkbox"/>
NDCA REG. AREA	
YES	NO <input checked="" type="checkbox"/>

City of Greater Sudbury APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED, IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): Andrew Lach Email: [REDACTED]
Mailing Address: 1-723 St Clair Street Home Phone: [REDACTED]
City: Sudbury Postal Code: P3E 4G9 Business Phone: [REDACTED]
Fax Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please specify.

Name of Agent: Atta Nicola Munro Email: Please email owner
Mailing Address: 106 College Street Home Phone: [REDACTED]
City: Sudbury Postal Code: P3C 4T7 Business Phone: 705 674-9892
Fax Phone: [REDACTED]
Note: Unless otherwise requested, all communication will be sent to the agent, if any.

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: Scotiabank
Mailing Address: 1094 Barrydowne Road
City: Sudbury Postal Code: P3A 3V3

- 4) Current Official Plan designation: Livingston Current Zoning By-law designation: R-2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
Parking By-law	3	0	3

- b) Is there an eave encroachment? ☐ Yes ☒ No If "Yes", size of eaves: _____ (m)

- c) Description of Proposal: Seeking relief from the parking by-law in order to accommodate parking for 3 vehicles

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: The building was built 2.4m from the street line, this is the current setback

- 6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: MCLIM
 Lot No.: 7 Concession No.: 2 Parcel(s): 18278 SES
 Subdivision Plan No.: M-99 Lot: 280 Reference Plan No.: _____ Part(s): _____
 Municipal Address or Street(s): 723 St Clair Street

- 7) Date of acquisition of subject land.
- May 11, 2007

- 8) Dimensions of land affected.
- 444.32
-
- Frontage
- 12.142
- (m) Depth
- 36.576
- (m) Area
- 446
- (m
- ²
-) Width of Street
- 20.1
- (m)

- 9) Particulars of all buildings:

- 10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

- 11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Privy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☐
 Municipal Road ☐
 Maintained Yearly ☒
 Maintained Seasonal ☐
 Right-of-way ☒
 Water ☐
 If access is by water only, provide parking and docking facilities to be used. _____

- 12) Date(s) of construction of all buildings and structures on the subject land.

1959

- 13) Existing use(s) of the subject property and length of time it / they have continued.

Use(s): triplex Length of time: 30 years ±

- 14) Proposed use(s) of the subject property.

Same as #13 ☒ or, _____

- 15) What is the number of dwelling units on the property?
- 1

- 16) If this application is approved, would any existing dwelling units be legalized?
- ☒
- Yes
- ☐
- No

If "yes", how many? One

- 17) Existing uses of abutting properties:
- Single family (east) Duplex (west)

A0128/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____
or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?
☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

I/We, Andrew Iach (please print all names), the registered owner(s) of the property described as 723 St Clair Street
in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

Authority to Enter Land and Photograph

- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize Nicola Munro (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 14 day of November, 2023

(witness)

signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: Andrew Iach

*I have authority to bind the Corporation

A0128/2023


PART B: OWNER OR AUTHORIZED AGENT DECLARATION

I/We, Andrew Inch (please print all names),
the registered owner(s) or authorized agent of the property described as


in the City of Greater Sudbury:

solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 14 day of November, 2023


Commissioner of Oaths

Karen Elizabeth Pigeau, a Commissioner for taking Affidavits in and for the Courts of Ontario, while within the Territorial District of Sudbury and while appointed as a Deputy Clerk for the City of Greater Sudbury.


signature of Owner(s) or Signing Officer or Authorized Agent
(*where a Corporation)

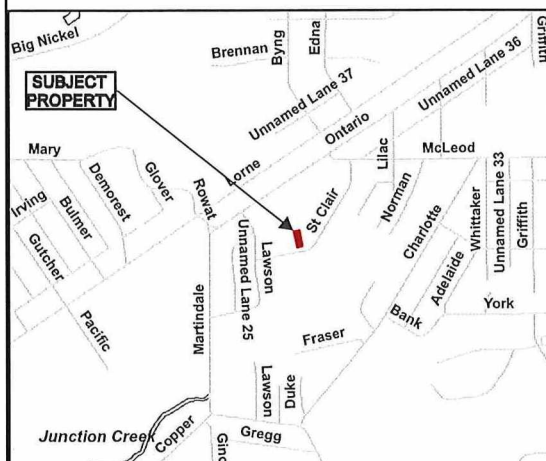
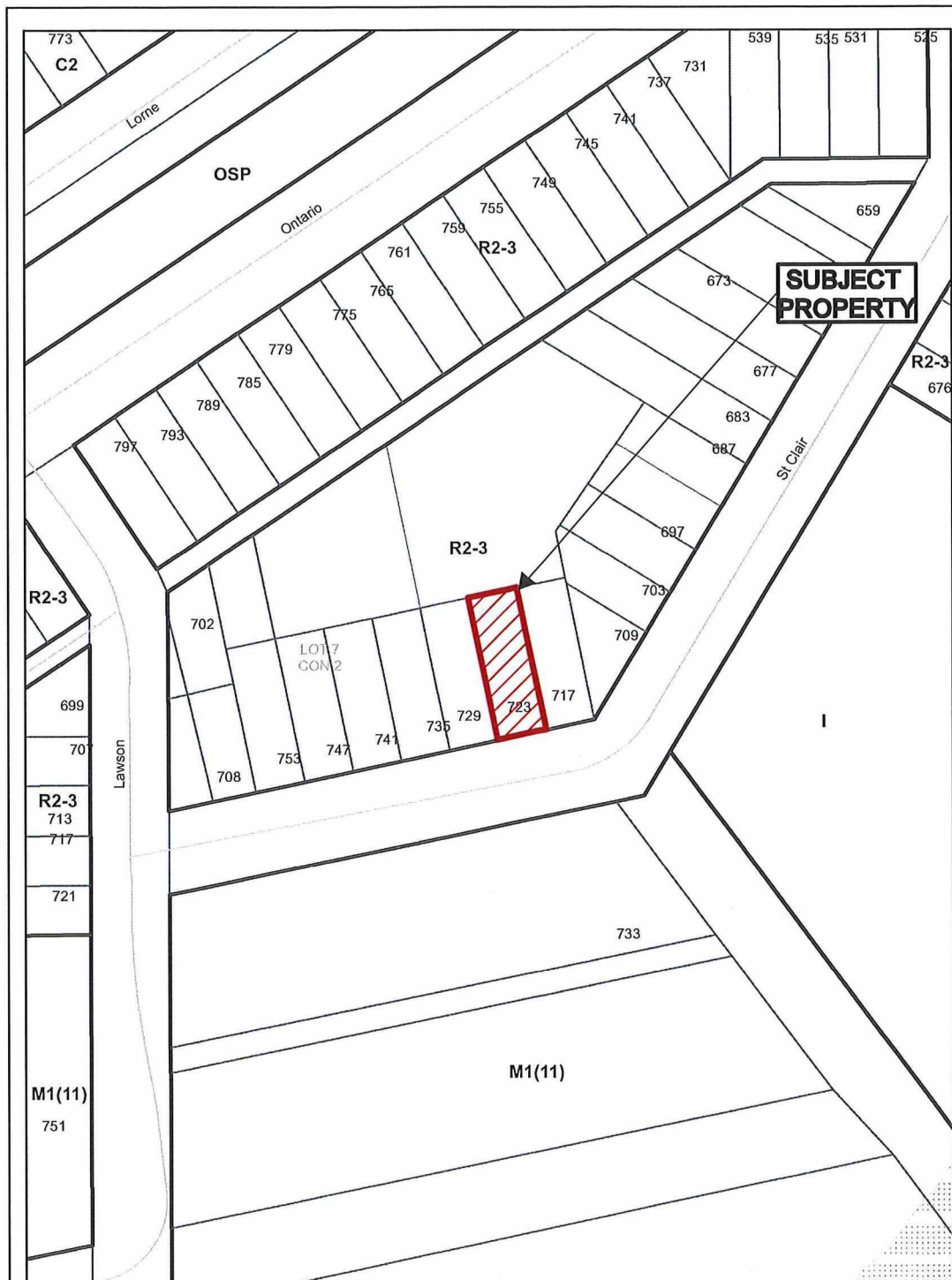
Print Name: Andrew
 *I have authority to bind the Corporation

- * Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Nov 17/23 Hearing Date: Dec 6/23 Received By: S. Pinkerton
Zoning Designation: R2-3 Resubmission: ☐ Yes ☒ No
Previous File Number(s): See below
Previous Hearing Date:
Notes: A 577/68 (Feb 14/68)
A 1312/812 (Jul 21/812)

A0128/2023



Application for Minor Variance or Permission



Subject Property PIN 73589-0346,
Parcel 18278 SEC SES, Part Lot 280, Plan M-99,
Part Lot 7, Concession 2, Township of McKim,
723 St. Clair Street, Sudbury,
City of Greater Sudbury

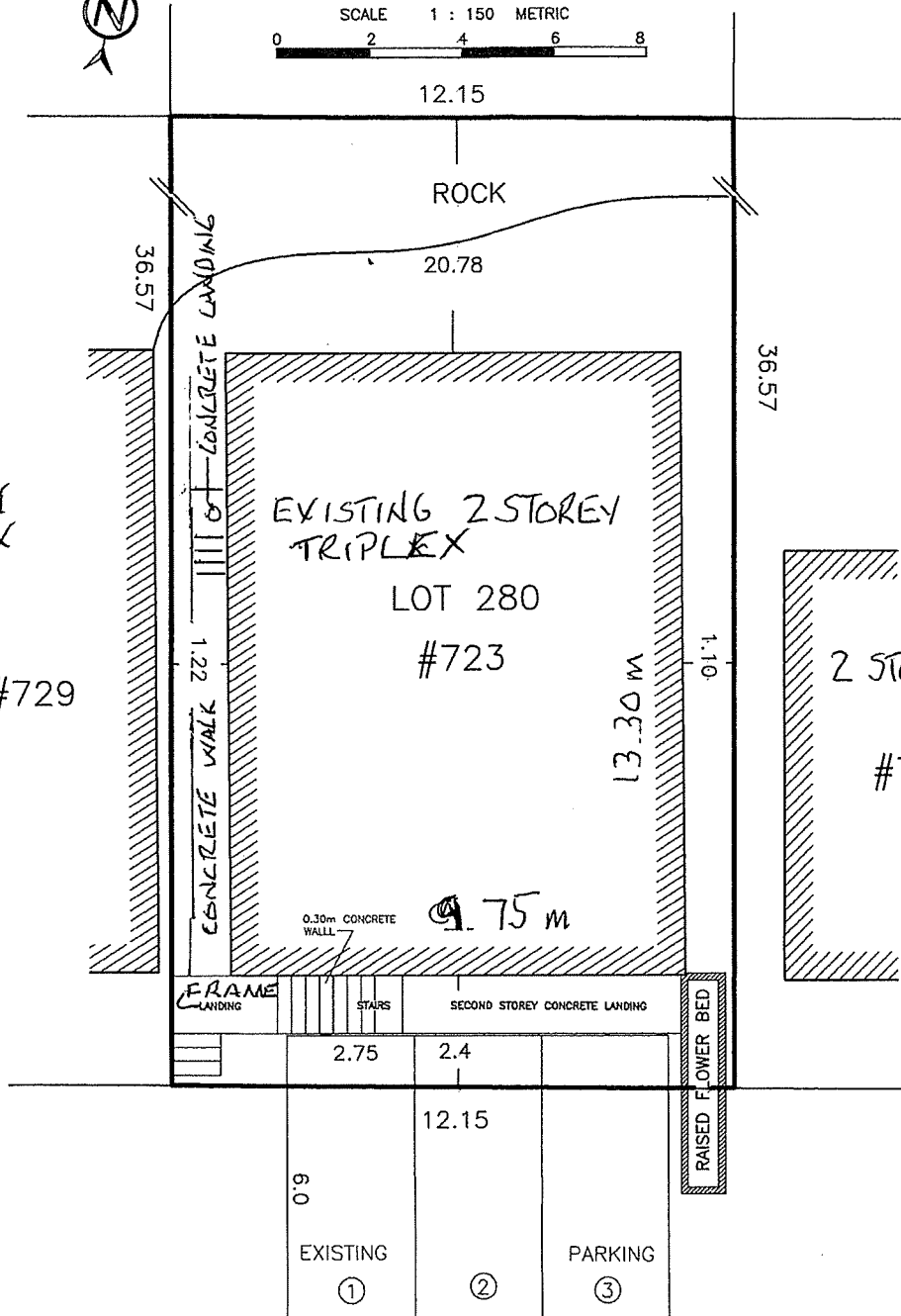
Sketch 1, NTS
MNR

A0128/2023
Date: 2023 11 21

PLOT PLAN
PART OF LOT 280
REGISTERED PLAN M-99

#723 ST CLAIR STREET

SCALE 1 : 150 METRIC



CURB

ST CLAIR STREET

20.11m ROAD RIGHT OF WAY

2 STOREY
~~TRIPLEX~~

#729

EXISTING 2 STOREY
 TRIPLEX

LOT 280

#723

13.30m

36.57

2 STOREY SINGLE
 FAMILY

#717

FRAME
 LANDING

STAIRS

SECOND STOREY CONCRETE LANDING

RAISED FLOWER BED

2.75

2.4

12.15

0.6

EXISTING

①

②

PARKING

③

A0128/2023
 sketch 2



Box 5000, Station 'A', 200 Brady Street
Sudbury ON P3A 5P3
Tel. (705) 671-2489, Ext. 4376/4346
Fax (705) 673-2200

City of Greater Sudbury

APPLICATION FOR MINOR VARIANCE

APPLICATION FEE: \$1,180.00 (includes \$280.00 legal notice fee)
APPLICATION FEE FOR HEDGEROWS: \$357.00 (includes \$280.00 legal notice fee)
CASH, DEBIT OR CHEQUE MADE PAYABLE TO: CITY OF GREATER SUDBURY

Personal information on this form is collected pursuant to the Planning Act, R.S.O. 1990 c.P.13. Any questions regarding the collection of this information may be directed to the Manager of Development Approvals. In accordance with Section 1.0.1 of the Planning Act, R.S.O. 1990 information and material required to be provided to a municipality or approval authority as part of this application shall be considered public information and shall be made available to the public.

PLEASE PRINT. SCHEDULES MAY BE INCLUDED IF NECESSARY.

- 1) The undersigned hereby applies to the Committee of Adjustment of the City of Greater Sudbury under Section 45 of the Planning Act R.S.O. 1990, c.P. 13 for relief, as described in this application, from the By-Law, as amended.

Registered Owner(s): LUIGI TARINI (1039512 ONTARIO) LTD Email: [REDACTED]
Mailing Address: 2130 SOUTH BAY RD. Home Phone: [REDACTED]
City: SUDBURY, ONTARIO Postal Code: [REDACTED] Business Phone: [REDACTED]

- 2) If the application will be represented by someone other than the registered owner(s) and/or the application is prepared and submitted by someone other than the registered owner(s), please

Name of Agent: ARNANDO RAXETTE Email: [REDACTED]
Mailing Address: 6-544 BARRYDOONE RD. Home Phone: [REDACTED]
City: SUDBURY, ONTARIO Postal Code: P3A 3T3 Business Phone: [REDACTED]

- 3) Names and mailing addresses of any mortgagees, holders of charges or other encumbrances. (Give full particulars to ensure that any individual, company, financial institution holding a mortgage, etc. on the subject lands can be notified of this application).

Name: N/A
Mailing Address: [REDACTED]
City: [REDACTED] Postal Code: [REDACTED]

- 4) Current Official Plan designation: Living Area 1 Current Zoning By-law designation: R2-3

- 5) a) Nature and extent of relief from the Zoning By-law for which the application is being made. (If more than five variances are being sought, a schedule may be attached to the application form). Measurements must be in metric.

Variance To	By-law Requirement	Proposed	Difference
<u>4.2.6 c)</u>	<u>50%</u>	<u>86% ± 4</u>	<u>36% ± 24%</u>
<u>Side yard setback</u>	<u>1.5m</u>	<u>7.2m</u>	<u>5.7m</u>
<u>4.15.2</u>	<u>50%</u>	<u>0</u>	<u>50%</u>

- b) Is there an eave encroachment? ☐ Yes ☒ No SFD If 'Yes', size of eaves: _____ (m)

- c) Description of Proposal: 2-BEDROOM RES WITH R.V. GARAGE ATTACHED WITH INCREASED GARAGE FRONTAGE AND REDUCED SIDE YARD SET BACK

- d) Provide reason why the proposal cannot comply with the provisions of the Zoning By-law: NARROW LOT FRONTAGE WILL NOT ALLOW FOR THE SIZE OF BUTCHING THAT I REQUIRE.

APPLICATION FOR MINOR VARIANCE

PAGE 2 OF 4

6) Legal Description (include any abutting property registered under the same ownership).

PIN(s): _____ Township: MCKIM
 Lot No.: 9 Concession No.: 2 Parcel(s): 49604
 Subdivision Plan No.: M133 Lot: 1816-188 Reference Plan No.: 53013123 Part(s): 4, 6, 7, 10-15
 Municipal Address or Street(s): 49 DEAN AVE. O'Connell

7) Date of acquisition of subject land. APPROXIMATELY 1983

8) Dimensions of land affected.

Frontage 19.42 (m) Depth 62.36 (m) Area 2016.7 (m²) Width of Street _____ (m)

9) Particulars of all buildings:

	Existing	Proposed
Ground Floor Area:	(m ²) <u>293.69</u>	(m ²) <u>378.9</u>
Gross Floor Area:	(m ²) <u>415.03</u>	(m ²) <u>219.8</u>
No. of storeys:	_____	<u>2</u>
Width:	(m) <u>18.28</u>	(m) <u>20.72</u>
Length:	(m) <u>18.28</u>	(m) <u>13.28</u>
Height:	(m) <u>10.316</u>	(m) <u>N</u>

10) Location of all buildings and structures on or proposed for the subject lands (specify distances from side, rear and front lot lines).

	Existing	Proposed
Front:	(m) <u>12.29</u>	(m) <u>13.59</u>
Rear:	(m) <u>28.96</u>	(m) <u>30.48</u>
Side:	(m) <u>1.8</u>	(m) <u>4.2</u>
Side:	(m) <u>7</u>	(m) <u>4.87</u>

11) What types of water supply, sewage disposal and storm drainage are available?

Municipally owned & operated piped water system ☒
 Municipally owned & operated sanitary sewage system ☒
 Lake ☐
 Individual Well ☐
 Communal Well ☐
 Individual Septic System ☐
 Communal Septic System ☐
 Pit Pmpy ☐
 Municipal Sewers/Ditches/Swales ☐

What type of access to the land?

Provincial Highway ☒
 Municipal Road ☐
 Maintained Yearly ☐
 Maintained Seasonal ☐
 Right-of-way ☐
 Water ☐
 If access is by water only, provide parking and docking facilities to be used.

12) Date(s) of construction of all buildings and structures on the subject land.

N/A.

13) Existing use(s) of the subject property and length of time it/they have continued.

Use(s): VACANT Length of time: 50 YEARS

14) Proposed use(s) of the subject property.

Same as #13 ☐ or, SINGLE FAMILY DWELLING

15) What is the number of dwelling units on the property?

1 PROPOSED

16) If this application is approved, would any existing dwelling units be legalized?

☐ Yes ☒ No

17. EXISTING USES OF ABUTTING PROPERTIES - RESIDENTIAL & INDUSTRIAL

A0114/2023

- 18) To the best of your knowledge has the subject land ever been subject of a previous application for minor variance/permission? ☐ Yes ☒ No

If "yes", indicate the application number(s): _____

or, describe briefly, _____

- 19) Is the property the subject of a current application for Consent (i.e. severance) under Section 53 of the Planning Act, R.S.O. 1990 c.P.13? ☐ Yes ☒ No

If "yes", indicate application number(s) and status of application(s): _____

- 20) Is the property the subject of a current application for a Plan of Subdivision under Section 51 of the Planning Act, R.S.O. 1990, c.P.13, or its predecessors? ☐ Yes ☒ No

If "Yes", indicate application number(s) and status of application(s): _____

- 21) Is this property located within an area subject to the Greater Sudbury Source Protection Plan?

☐ Yes ☒ No

If "yes", provide details on how the property is designated in the Source Protection Plan. _____

PART A: OWNER ACKNOWLEDGEMENT AND CONSENT

We, LUIGI TARINI (please print all names), the registered owner(s) of the property described as 0 RONALD AVE in the City of Greater Sudbury:

Collection, Use and Disclosure of Information:

- acknowledge that personal information collected on this form is collected pursuant to the *Planning Act*, R.S.O. 1990, c.P.13 for the purpose of processing this planning application;
- acknowledge that it is the practice of the City of Greater Sudbury, in accordance with section 1.0.1 of the *Planning Act*, R.S.O. 1990, c.P.13, to provide public access to all planning applications and documents, including but not limited to reports, studies and drawings, required by the City of Greater Sudbury in support of this application ("Supporting Documentation") and provided to the City by me, my agents, my consultants and my solicitors;
- in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, consent to the use and disclosure of this application and any Supporting Documentation, inclusive of any personal information, to any person or entity, in any manner chosen by the City, including copying, posting on the City's website, advertising in a newspaper, routine distribution to members of council and in staff reports, or releasing to a third party upon third party request;
- grant the City permission to reproduce, in whole or in part, the application and Supporting Documentation for internal use, inclusion in staff reports, distribution to the public for the purpose of public consultation or any other use associated with the purpose of review and implementation of the application;

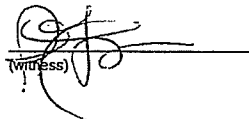
Authority to Enter Land and Photograph

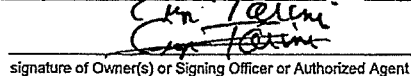
- grant the City permission to attend, photograph and conduct inspections of the lands subject to this application as part of the City's review and processing of this application;
- acknowledge that, in the event of a third party appeal of this application (where applicable) to the Ontario Land Tribunal, the City of Greater Sudbury may not attend at the Ontario Land Tribunal hearing unless the City is provided with the City's required fee for attendance at the hearing;

Appointment of Authorized Agent

- appoint and authorize ARMAND RACETTE (please print name of Agent), to act as my/our agent with regard to this application to the City of Greater Sudbury, including but not limited to receiving all correspondence, attending at any hearings, fulfilling any conditions, and providing any approvals or consents and ratify, confirm, and adopt as my/our own, the acts, representations, replies and commitments made by the agent on my/our behalf.

Dated this 18th day of SEPTEMBER, 2023


(Witness)


signature of Owner(s) or Signing Officer or Authorized Agent

Print Name: LUIGI TARINI

*I have authority to bind the Corporation

AO114/2023

I/We, LUIGI TARINI (please print all names),
the registered owner(s) or authorized agent of the property described as 0 RONALD AVE.

I/We, the undersigned, do hereby solemnly declare that all of the statements contained in this application and in the Supporting Documentation are true and complete, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Dated this 18th day of SEPTEMBER, 2023

Signature
signature of Owner(s) or Signing Officer or Authorized Agent
(where a Corporation)

Print Name: LUIGI TARINI
 *I have authority to bind the Corporation

* Where the owner is a firm or corporation, the person signing this instrument shall state that he/she has authority to bind the corporation or affix the corporate seal.

FOR OFFICE USE ONLY

Date of Receipt: Sep 21/23 Hearing Date: Oct 12/23 Received By: S. Pinkert
Zoning Designation: R2-3 Resubmission: ☐ Yes ☐ No
Previous File Number(s): none
Previous Hearing Date:
Notes: Resubmission: Nov 16/
Hearing Date: Dec 6/

A0114/2023

Luigi Tarini
2130 South Bay Road
Sudbury, Ontario, P3E 6H7

October 5, 2023

Sarah Pinkerton
Consent Official/Secretary Treasurer of the Committee of Adjustment
Planning Services
City of Greater Sudbury

Greetings Ms. Pinkerton,

This letter is to further request and substantiate the grant of Variances for 0 Ronald Avenue, Greater Sudbury. The Variance requests are minor in nature.

As you know, my intention is to build a family home that fits within the Sudbury's community of Gatchell, an area that is next to my former business and my childhood family home. I look forward to personally occupying this residence in a familiar neighborhood community, next to family as I embark on my retirement years.

The pictures included below may help to explain the request for said Variances.

View south from back yard – open land, light industrial zoning.



A0114/2023

BELOW: View south from back yard – showing existing light industrial zoning



BELOW: View west from planned back yard – showing abutment to existing rock outcrop beyond is "Dynamic Earth"

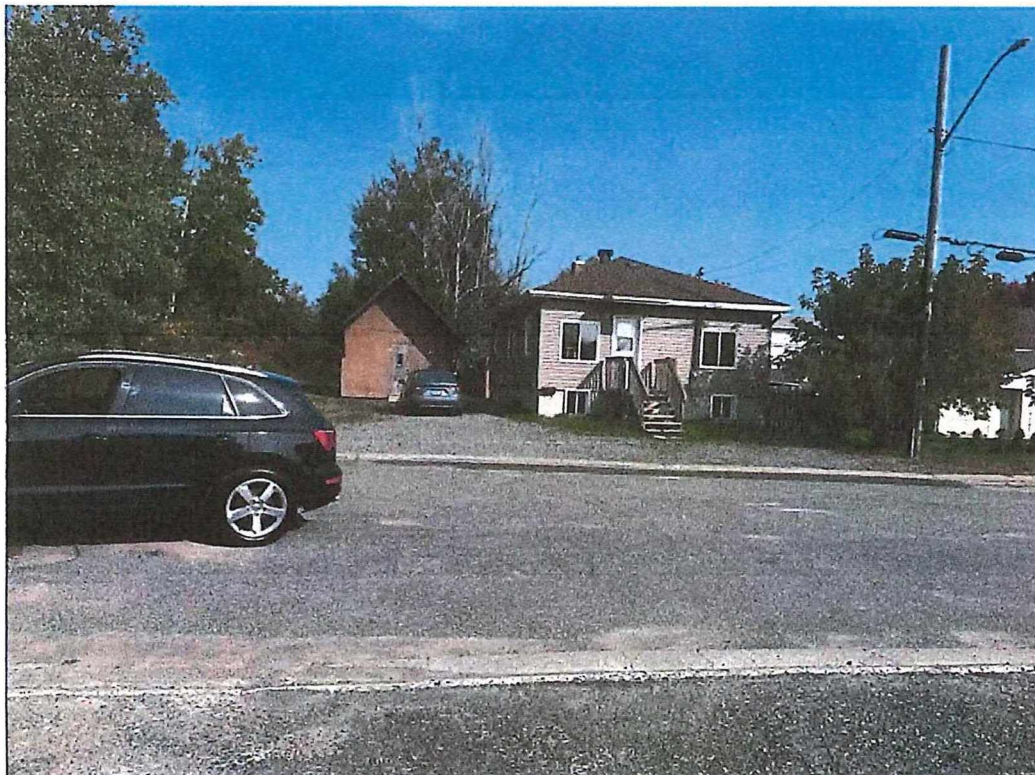


A0114/2023

BELOW: View east from planned back yard – showing abutment to existing residential out-buildings



BELOW: View north from planned front of residence yard – showing across the street residence



A0114/2023

BELOW: Current view of what is planned to be the new home property



I thank you for your care and consideration in this matter and I look forward to hearing from you.

Respectfully Submitted,

Luigi Tarini

A0114/2023



RV Garage Dimensions Cheat Sheet

Are you looking to build or purchase an RV garage but you're not sure what size is right? This will give you the basic understanding of RV sizes & things to think about to help you make a decision.

How large should the building be?

The general rule when building any type of garage, be it for a regular vehicle or a recreational vehicle, is that bigger is always better.

If you have limited space to build, the key is finding the balance between a generous enough size to accommodate your current RV, as well as room to grow in case you decide to upgrade to a larger RV in the future. Your smaller motor home may be an adequate size for now, but once you start to really enjoy the benefits of a transportable vacation home, upgrading to a larger luxury model may be a future option.

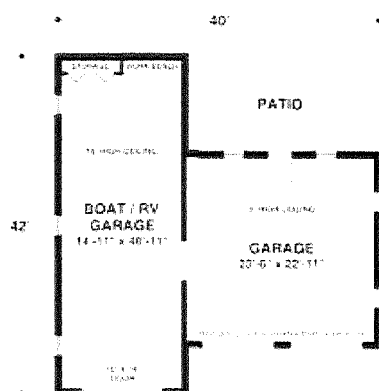
Remember— rarely does one ever complain about having too much storage space – our advice is always build as large as you can afford.

To begin determining the recommended size for your garage, you will need to first determine the clearance height, length and width of your RV.

- **A Class A Motorhome**, the largest and most luxurious of all RVs, has an average height of 10 feet, and can range from 21 to 45 feet in length. This RV typically requires a garage with a clearance height of at least 14 feet, and 45 to 50 feet in length depending on how much additional storage you wish to have.
- **A Class B Camper Van** has an average height of eight feet, and can range from 16 to 21 feet in length. This RV typically requires garage with a clearance height of at least 12 feet, and 25 to 30 feet in length.
- **A Class C Motorhome**, which has a distinctive cab-over bunk, has an average height of about 10 feet, and can range from 21 to 35 feet in length. This RV typically requires garage with a clearance height of at least 14 feet, and 40 to 45 feet in length.
- Most RVs range between 8 and 8 ½ feet in width, and require at least 10 feet for comfortable maneuverability around the vehicle inside the garage.

To determine the width of your RV garage, take into account the width of your RV as well as space to open the doors of the vehicle. Consider additional width space if your RV has slide outs that you wish to extend while the vehicle is parked in the garage.

Source: <https://www.buildingsguide.com/building-applications/residential-steel-buildings/rv-garages/>





FIND A DEALER

From The Road

Tips & Lifestyle

Explore RVs

How to Buy

Plan a Trip

FIND A DEALER

CAMPGROUNDS

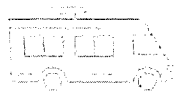


CLASS A MOTORHOME

Class A RVs are constructed entirely on a specially designed motor vehicle chassis. They are large, spacious, and generally have residential-sized kitchens, large living areas, separate bedrooms, and large bathrooms. Another advantage is that a Class A can easily tow another vehicle behind it.

EXPLORE CLASS A MOTORHOME

AO114/2023

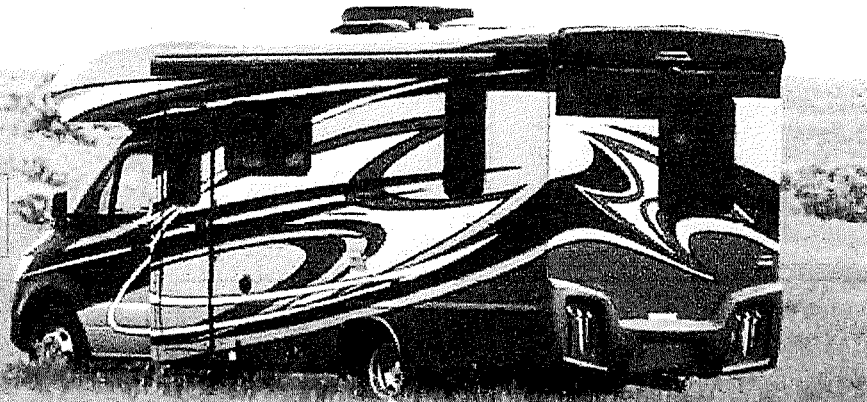


CLASS B MOTORHOME

Class B motorhomes, also known as camper vans, feature all the conveniences of a furnished motorhome but are compact enough to make driving one as easy as your regular van or SUV.

EXPLORE CLASS B MOTORHOME

A0114/2023

[FIND A DEALER](#)[From The Road](#)[Tips & Lifestyle](#)[Explore RVs](#)[How to Buy](#)[Plan a Trip](#)[FIND A DEALER](#)[CAMPGROUNDS](#)

CLASS C MOTORHOME

Class C Motorhomes are easily recognizable by the over-the-cab area that is often an optional sleeping area. This type of RV is built on an automotive van frame with a wider body section attached to the original cab. Amenities are similar to those in conventional motorhomes with large kitchens, spacious living areas, large bathrooms, and a separate bedroom.

[EXPLORE CLASS C MOTORHOME](#)

-----> **GET OUR NEWSLETTER** <-----

A0114/2023

Name:

Company:

Location:



Date:

By:

Tel.:

Fax:

24" o.c.
at 1/4"
scale

16" o.c.
at 1/4"
scale

Garage Frontage

Measured in @ 6.0m (20'0") = 80'-10"

Meas. = 80'-10"

House = 60'-0"

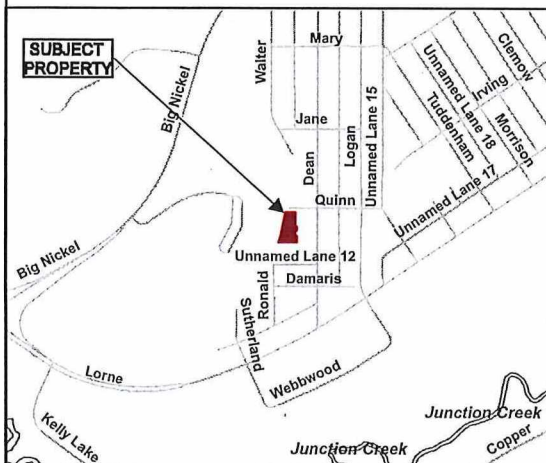
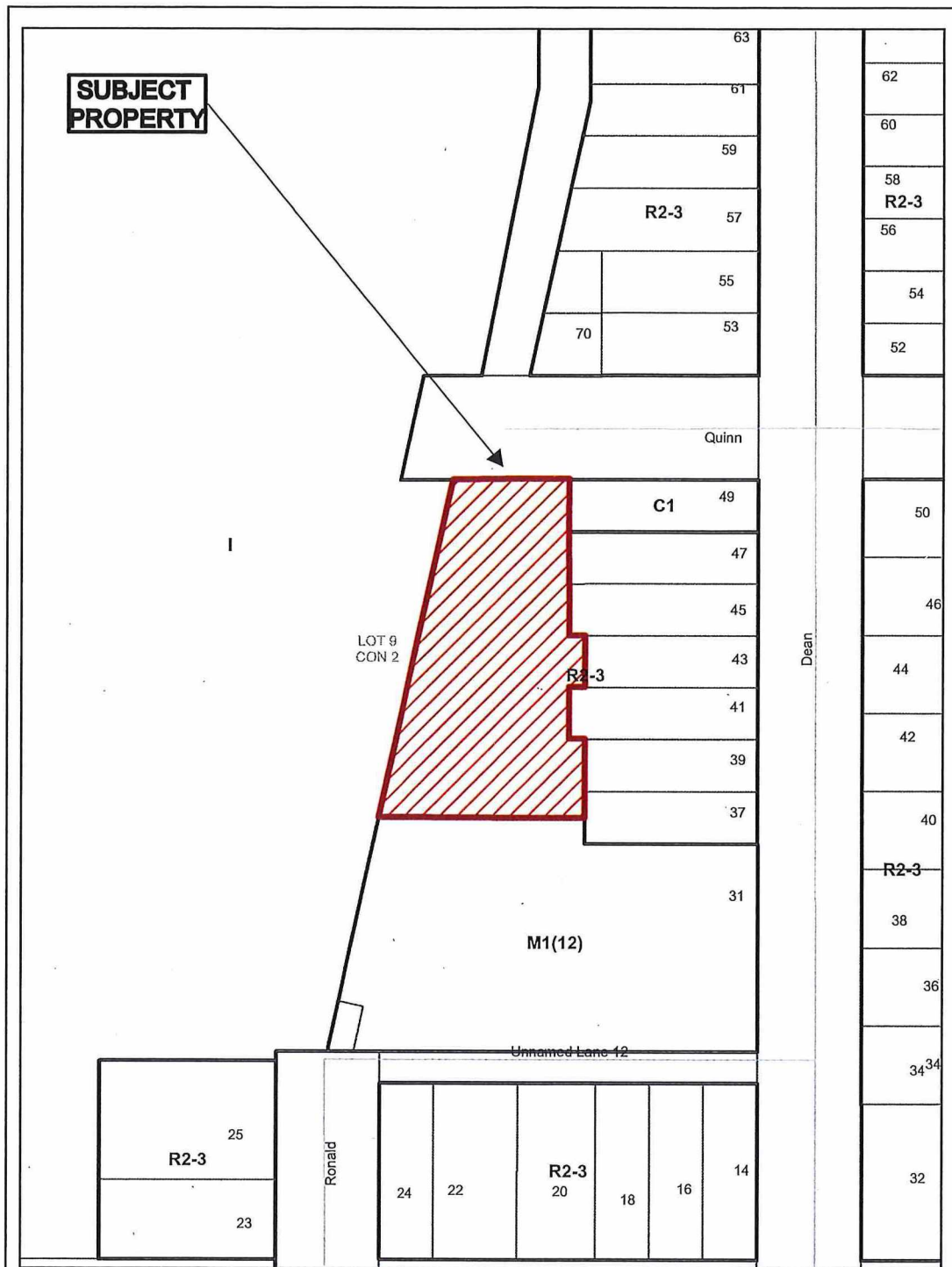
$$\frac{60'-0''}{80'-10''} = \underline{\underline{74.2\%}}$$

Measured in @ 18.3m (60'0") = 89'-1"

Meas. = 89'-1"

House = 60'-0"

$$\frac{60'-0''}{89'-1''} = \underline{\underline{67.4\%}}$$



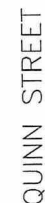
Application for Minor Variance or Permission



Subject Property PIN 73587-0349,
Parcel 23076 SEC SES, Lots 186, 187 and 188,
Plan M-133, Parts 4, 6, 7, 10, 11, 12, 13, 14 and 15,
Plan 53R-13123, Part Lot 9, Concession 2,
Township of McKim, 0 Ronald Avenue, Sudbury,
City of Greater Sudbury

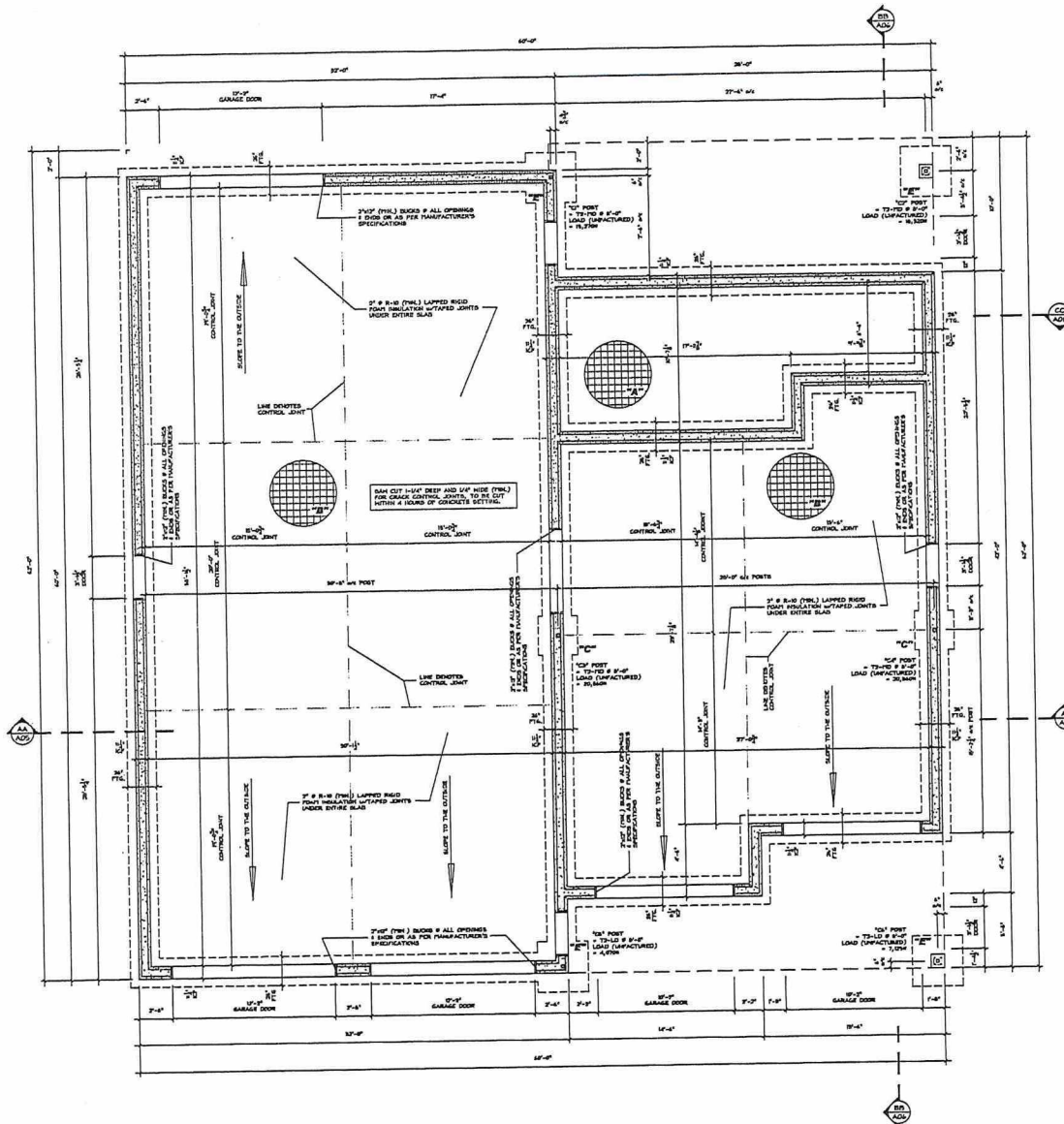
Sketch 1, NTS
NDCA

A0114/2023
Date: 2023 09 22



SP1

A0114/2023
Sketch 2



MAIN
STEEL GROUTER AS PER PLAN (PRINTED) WITH
1\"/>

CONCRETE SLAB ASSEMBLY "A" @ BASEMENT
3\"/>

CONCRETE SLAB ASSEMBLY "B" @ GARAGE
3\"/>

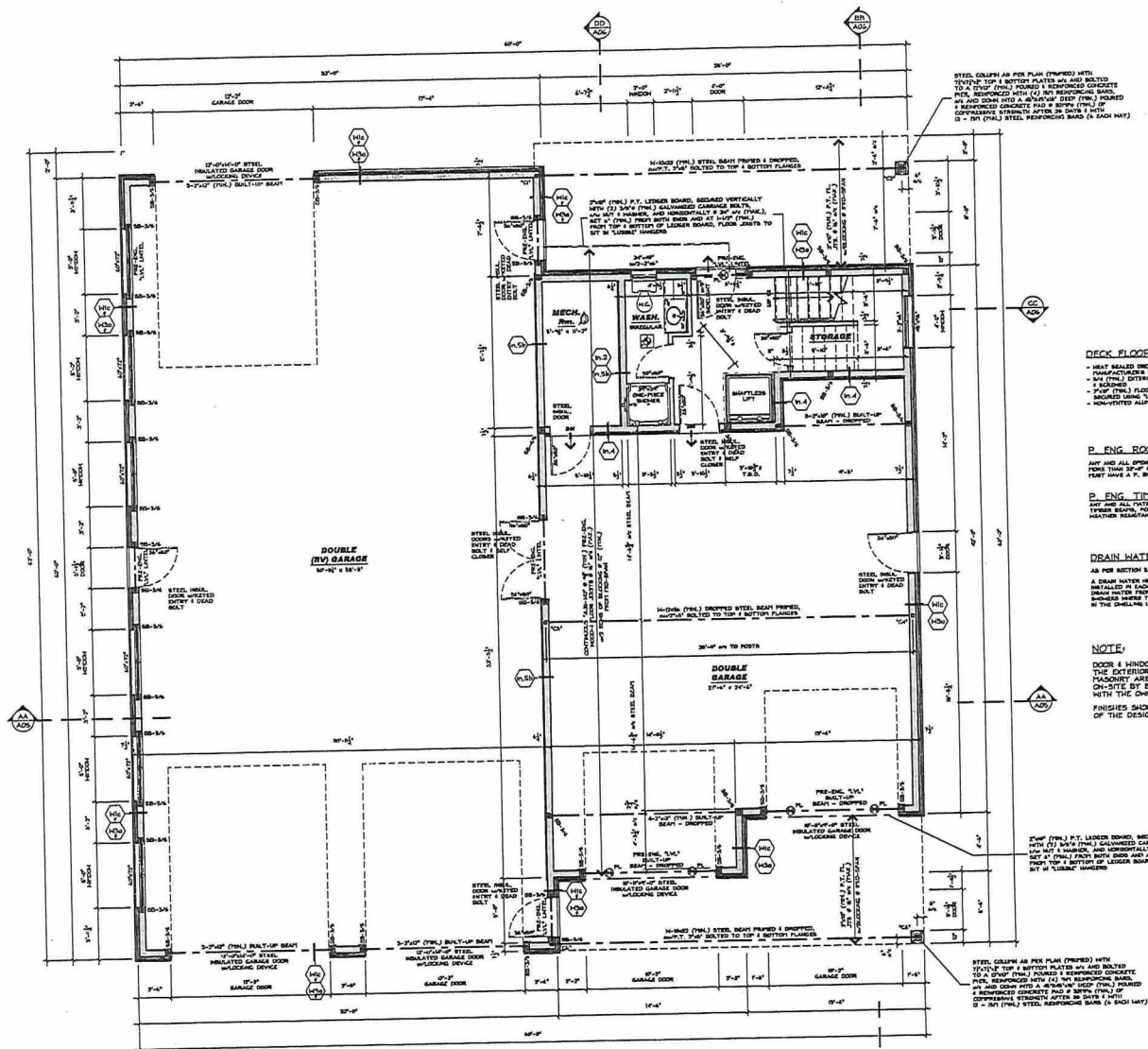
STRIP FOOTING ASSEMBLIES
36\"/>

NOTE:
THE LOCATIONS OF ALL ELECTRICAL, MECHANICAL
AND PLUMBING INSTALLATIONS IS TO BE INDICATED
BY CERTIFIED TRADES AND OTHERS.

FOUNDATION = 3,161.25 ft² (293.69 m²)
LOT COVERAGE = 3,442.33 ft² (319.80 m²)

PROJECT TITLE LUGI TARINI CONSULTANT & PRINCIPAL 1008 HAWTHORNE DRIVE SUITE 201 ELLIOTT, PA 15116 (412) 431-1111 www.lugitarini.com	
PROJECT NO.: A08-2023	CLIENT: LUGI TARINI CONSULTANT & PRINCIPAL 1008 HAWTHORNE DRIVE SUITE 201 ELLIOTT, PA 15116 (412) 431-1111 www.lugitarini.com
DATE: FEBRUARY 14, 2023	SCALE: 1/4" = 1'-0"
DWG. NO.: 3 OF 10	DWG. NO.: 3 OF 10
FOUNDATION PLAN	

REVISED
A0114/2023
Sketch 3



NOTE:
THE LOCATION(S) OF ALL ELECTRICAL, MECHANICAL
AND PLUMBING INSTALLATIONS IS TO BE DETERMINED
BY CERTIFIED TRADES AND OWNERS.

GROUND FLOOR = 239.56 ft² (22.26 m²)
GARAGE(OUTSIDE) = 2,921.69 ft² (271.43 m²)
GARAGE (INSIDE) = 2,792.19 ft² (259.40 m²)

DRAIN WATER HEAT RECOVERY

AS PER SECTION 3.1.12, OF RS-9
A DRAIN WATER HEAT RECOVERY UNIT SHALL BE
INSTALLED IN EACH DWELLING UNIT TO RECOVER
DRAIN WATER FROM ALL SHOWERS OR AT LEAST TWO
SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS
IN THE DWELLING UNIT.

BARRIER FREE DESIGN IN BATHROOMS

STUD WALL REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS ON A WALL ADJACENT TO A WATER CLOSET, BATHROOM AND/OR SHOWER IN THE LOCATIONS REQUIRED BY THE U.S.C.

DECK FLOOR ASSEMBLY

- HEAT SEALED DUCK MEMBRANE "DURADOC" AS PER MANUFACTURER'S SPECIFICATIONS
- 3/4" (TYP.) EXTERIOR PLYNCOO BREATHING, ELDED & BURNED
- 2"x6" (TYP.) FLOOR JOISTS @ 16" ON (TYP.), SECURED USING "LUBRIC" HANGERS @ LEDGER BOARD
- NON-VENTED ALUMINUM SOFFIT

P ENG. ROOF TRUSS ASSEMBLY

ANY AND ALL OPENINGS UNDER TRUSSES THAT SPAN MORE THAN 32'-0" OR UNDER MULTI-PLY GIRDERS MUST HAVE A P. ENG. "LV" LABEL.

P. ENG. TIMBER ASSEMBLIES

ANY AND ALL MATERIALS USED IN THE DESIGN OF
TYPICAL BEAMS, PONTS & TRUSSES ARE TO BE
WEATHER RESISTANT

DRAIN WATER HEAT RECOVERY

AS PER SECTION 9.1.13, OF 90-13

NOTE

DOOR & WINDOW STYLES, INCLUDING THE EXTERIOR CLADDING AND/OR MASONRY ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE OWNERS.

FINISHES SHOWN IN DRAWINGS ARE
OF THE DESIGNER'S CONCEPT ONLY.

2" x 4" (TYP.) P.T. LEDGER BOARD, BUSHED VERTICALLY WITH (3) 3/8" (TYP.) GALVANNEED CARRIAGE BOLTS, 4" x 4" x 1/2" (TYP.) WASHER, AND HORIZONTALLY @ 24" o/c (TYP.), SET @ 1" (TYP.) FROM BOTH ENDS AND AT 1-1/2" (TYP.) FROM TOP & BOTTOM OF LEDGER BOARD, FLOOR JOISTS TYP. @ 12" o/c (TYP.) HANGERS.

CASTED) WITH
W/4 AND BOLTED
REINFORCED CONCRETE
REINFORCING BARS,
1/2" (TYP.) POURED
CONCRETE (TYP.) OF
28 DAYS & WITH
REINFORCING BARS (6 EACH WAY)

LEGAL NOTES

**B.C.I.N. DESIGNER,
CONSULTANT & PRINCIPAL**
1208 HAWTHORNE DRIVE



PROJECT No.:	PROJECT TITLE:
08-2023	LUIGI TARINI ____ ROADWAY, SECURITY, ON PCDM

A02

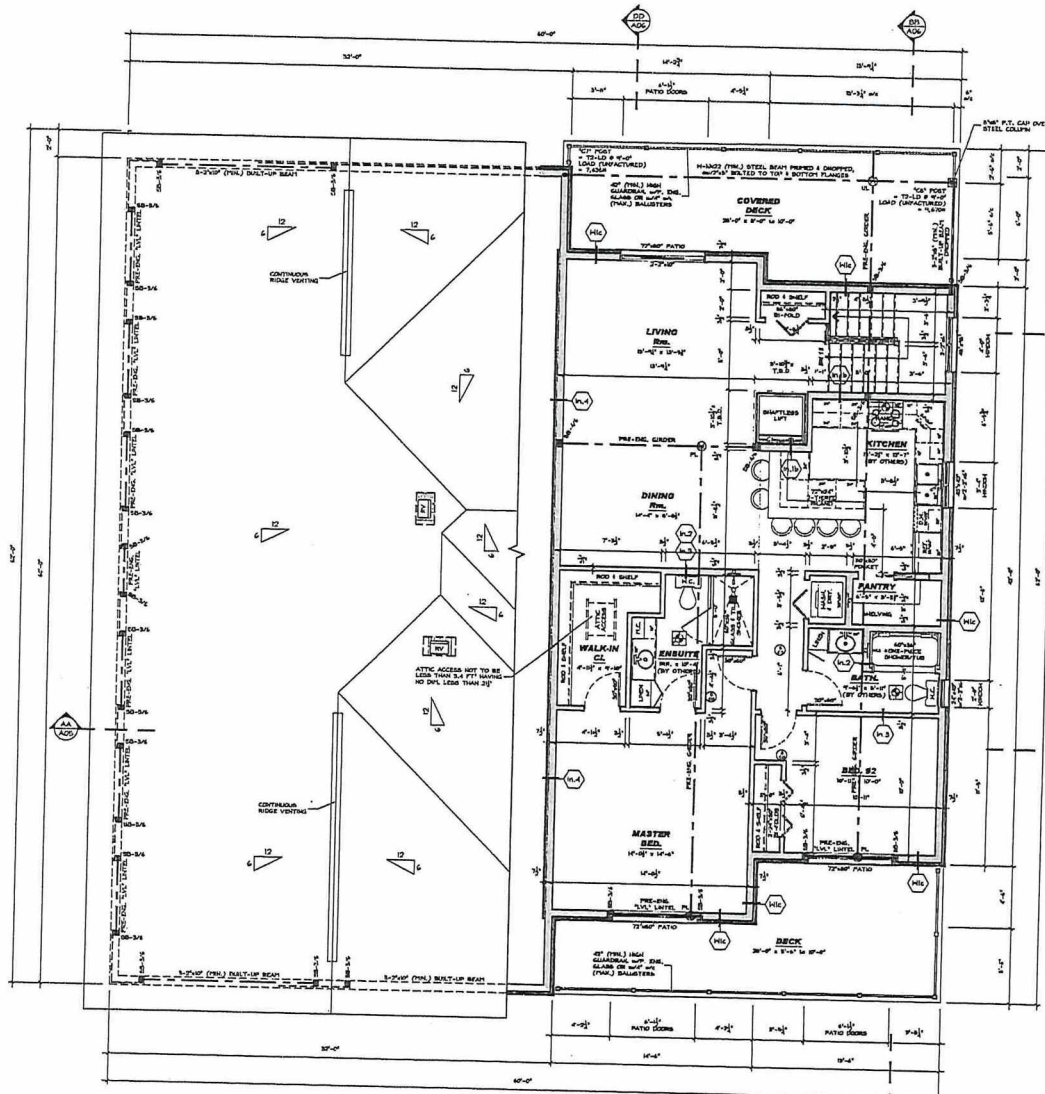
REVISED
A0114/2023
Sketch 4

NOTE:
THE LOCATION(S) OF ALL ELECTRICAL, MECHANICAL AND PLUMBING INSTALLATIONS IS TO BE DETERMINED BY IDENTIFIED TRADES AND GARNER.

UPPER FLOOR = 1,306.08 ft² (121.34 m²)

DRAIN WATER HEAT RECOVERY
AS PER SECTION 3110, OF 08-10
A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH BATHING UNIT TO RECOVER HEAT FROM WASTEWATER AND PREHEAT INLET WATER TO THE WATER HEATER. THE UNIT SHALL BE INSTALLED IN THE LOCATION INDICATED BY THE DESIGNER.

BARRIER FREE DESIGN IN BATHROOMS
STAIRS SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A RAMP. THE RAMP SHALL BE INSTALLED TO A WATER CLOSET, BATHING AND/OR SHOWER IN THE LOCATION INDICATED BY THE DESIGNER.



DECK FLOOR ASSEMBLY
- HEAT SEALED DECK JOISTING "UNMADE" AS PER MANUFACTURER'S SPECIFICATIONS
- 2" (51MM) EXTERIOR PLYWOOD SHEATHING, GLUED & NAILING
- 2" (51MM) FLOOR JOISTS @ 16" (406MM) ON CENTER
- SECURED USING "SLURK" UNUSUAL & LEADER BOARD (UNUSUAL ALUMINUM JOIST)

P. ENG. ROOF TRUSS ASSEMBLY
ANY AND ALL UPBRIDGE UNDER TRUSSES THAT SHOW FINE TRUSS 20" (508MM) OR UNDER FULL-PLY GABLES MUST HAVE A P. ENG. TRUSS LABEL.

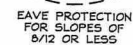
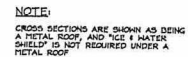
P. ENG. TIMBER ASSEMBLIES
ANY AND ALL MATERIALS USED IN THE CONSTRUCTION OF TRUSS ROOF, POSTS & TRUSSES ARE TO BE WEATHER RESISTANT.

NOTE:
DOOR & WINDOW STYLES, INCLUDING THE EXTERIOR CLADDING AND/OR FINISHES ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE OWNERS.
FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

NOTE:
"ICE & WATER SHIELD" IS NOTE REQUIRED UNDER A METAL ROOF.

<p>B.C. IN. DESIGNER, CONSULTANT & PRINCIPAL 1008 HAYTHORNE DRIVE SADDLE RIVER, ON P3A 1Y8</p>	
<p>PROJECT TITLE: LUIGI TARINI 1008 HAYTHORNE DRIVE, ON P3A 1Y8 UPPER FLOOR PLAN</p>	
<p>PROJECT NO.: A03-2023</p>	<p>CAD FILE NO.: A03-2023-001</p>
<p>DATE: FEBRUARY 14, 2023</p>	<p>DWG. NO.: 5 OF 10</p>
<p>DWG. NO.: A03</p>	

REVISED
A0114/2023
Sketch 5



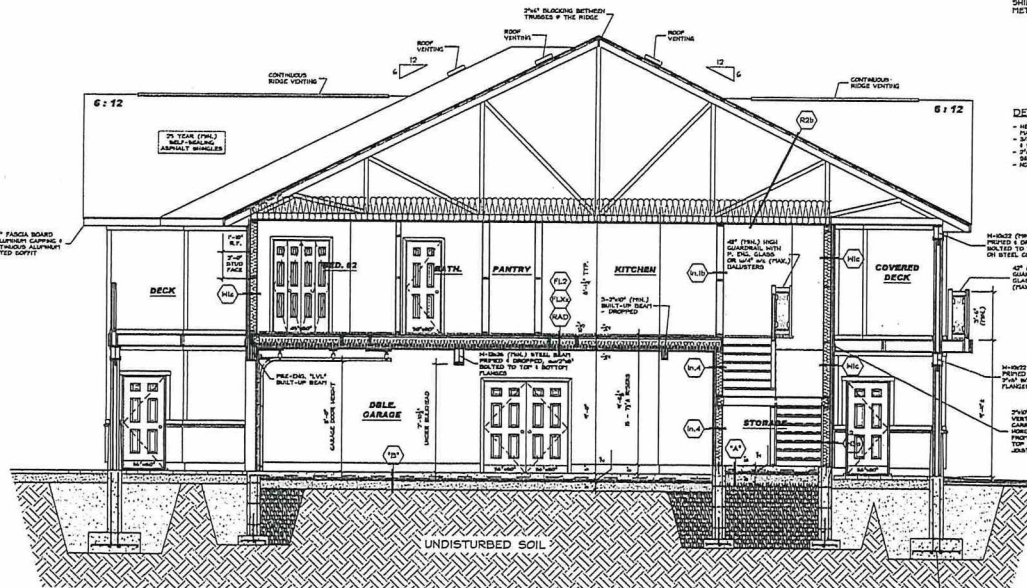
P. ENG. ROOF TRUSS ASSEMBLY

P. ENG. TIMBER ASSEMBLIES.
ART AND ALL MATERIALS USED IN THE DESIGN OF
TIMBER BEAMS, POSTS & TRUSSES ARE TO BE
WEATHER RESISTANT.

NOTE:
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FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

PROJECT NO.: A08-2023		PROJECT TITLE: ROAD AVENUE, EGGHOLM, ON P25.24	
DRAWING TITLE: SECTION DETAIL "AA"			
SCALE: 1" = 10'		DATE: FEBRUARY 14, 2023	
DWG. NO.: 7 OF 10		DWG. BY: MARC G. LEVASSEUR	
DWG. No.		A05	

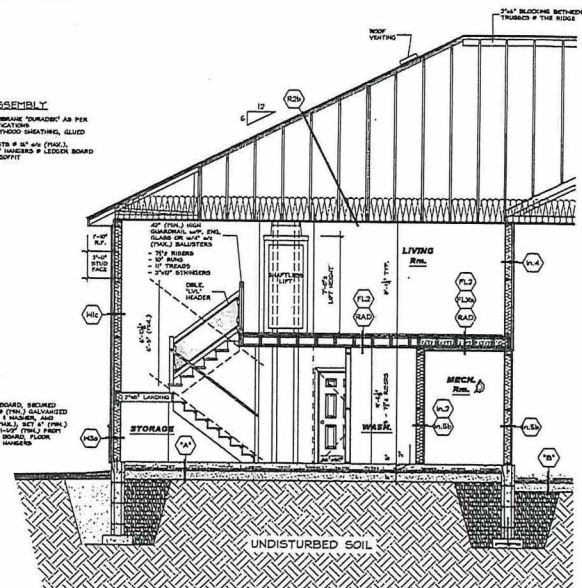
REVISED
A0114/2023
Sketch 7



SECTION "BB"

NOTE:
CROSS SECTIONS ARE SHOWN AS BEING A METAL ROOF, AND "ICE & WATER SHIELD" IS NOT REQUIRED UNDER A METAL ROOF.

DECK FLOOR ASSEMBLY
- HEAT REPAIRED OR REPLACE "TERRAZZO" AS PER MANUFACTURER'S SPECIFICATIONS
- 3/4" (TYP.) EXTERIOR FLY-SHIELD, GLUED & BOLDED
- 2" (TYP.) FLOOR JOISTS @ 16" O.C. (TYP.)
- 2" (TYP.) FLOOR JOISTS @ 16" O.C. (TYP.)
- 2" (TYP.) FLOOR JOISTS @ 16" O.C. (TYP.)
- 2" (TYP.) FLOOR JOISTS @ 16" O.C. (TYP.)



SECTION "CC"

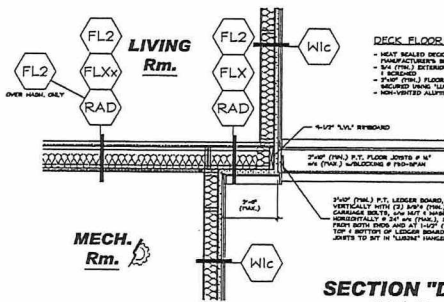
NOTE:
DOOR & WINDOW STYLES, INCLUDING THE EXTERIOR CLADDING AND/OR FINISHES ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE ORIGINAL FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

BARRIER FREE DESIGN IN BATHROOMS
AS PER SECTION 4.2.2.2 OF THE "IBC" (2018)
STUD SHALL REINFORCEMENT SHALL BE INSTALLED TO PREVENT FUTURE INSTALLATION OF BATH TUB OR A WALL ADJACENT TO A WATER CLOSET, BATHING AND/OR SHOWER.

DRAIN WATER HEAT RECOVERY
AS PER SECTION 4.2.2.2 OF THE "IBC" (2018)
A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DRAINING UNIT TO RECOVER DRAIN WATER HEAT FROM ALL BATHS OR AT LEAST TWO BATHS WHERE THERE ARE TWO OR MORE BATHS IN THE DRAINING UNIT.

P. ENG. ROOF TRUSS ASSEMBLY
JOIST AND ALL OTHERS UNDER TRUSSES THAT SHALL BE INSTALLED IN EACH DRAINING UNIT TO RECOVER DRAIN WATER HEAT FROM ALL BATHS OR AT LEAST TWO BATHS WHERE THERE ARE TWO OR MORE BATHS IN THE DRAINING UNIT.

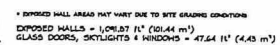
P. ENG. TIMBER ASSEMBLIES
JOIST AND ALL OTHERS UNDER TRUSSES THAT SHALL BE INSTALLED IN EACH DRAINING UNIT TO RECOVER DRAIN WATER HEAT FROM ALL BATHS OR AT LEAST TWO BATHS WHERE THERE ARE TWO OR MORE BATHS IN THE DRAINING UNIT.



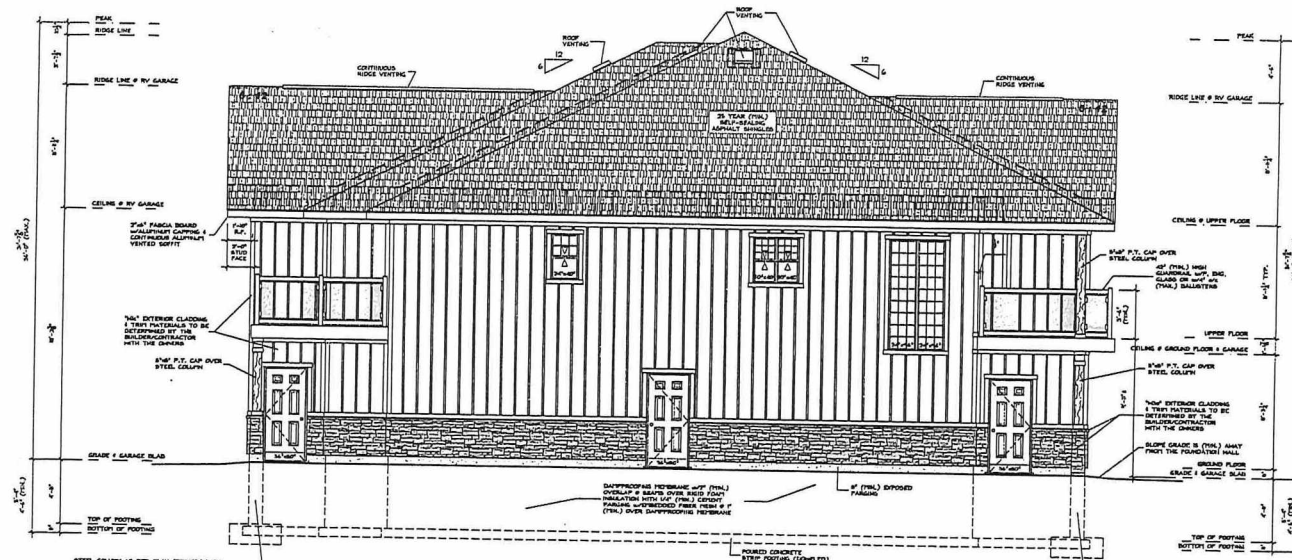
SECTION "DD"

PROJECT TITLE	PROJECT NO.	CAD FILE NO.	CAD FILE NO.
LUGI TARI	A08-2023	A08-2023-001	A08-2023-001
SECTION DETAIL "BB", "CC" AND "DD"			
DATE	DATE	DATE	DATE
FEBRUARY 14, 2023	FEBRUARY 14, 2023	FEBRUARY 14, 2023	FEBRUARY 14, 2023
DWG. NO.	DWG. NO.	DWG. NO.	DWG. NO.
8 OF 10	8 OF 10	8 OF 10	8 OF 10
A06	A06	A06	A06

REVISED
A0114/2023
Sketch 8



REVISED



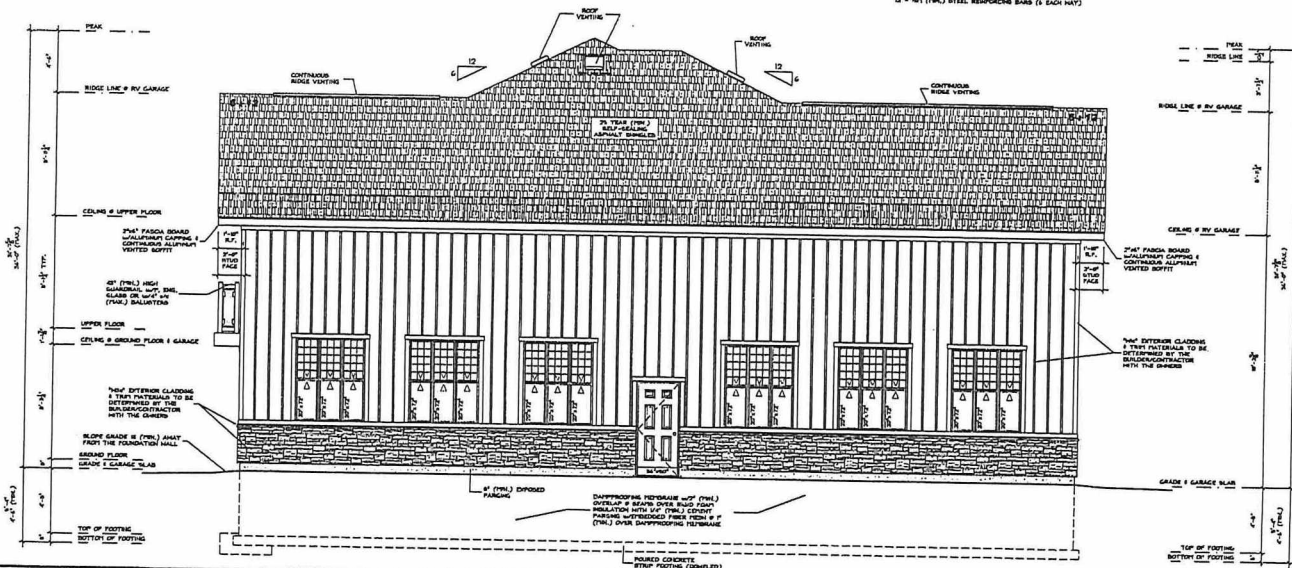
NOTE

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FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

RIGHT SIDE ELEVATION

* EXPOSED WALL AREAS MAY VARY DUE TO SITE GRADING CONDITIONS



NOTE:

DOOR & WINDOW STYLES, INCLUDING THE EXTERIOR CLADDING AND/OR MASONRY ARE TO BE DETERMINED ON-SITE BY BUILDER/CONTRACTOR WITH THE OWNERS.

FINISHES SHOWN IN DRAWINGS ARE OF THE DESIGNER'S CONCEPT ONLY.

LEFT SIDE ELEVATION

* EXPOSED WALL AREAS MAY VARY DUE TO SITE GRADING CONDITIONS

EXPOSED WALLS = 1.0% OF 11' (101.44 m²)

GLASS DOORS, SKYLIGHTS & WINDOWS = 100.00 11' (16.72 m²)

DATE		DESCRIPTION	AMOUNT	BALANCE
1	1			
2	1			
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8	1			
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10	1			
11	1			
12	1			
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[illegible]

**B.C.I.N. DESIGNER,
CONSULTANT & PRINCIPAL**



PROJECT No.: PROJECT TITLE:
 A08-2023 LUIGI TARINI
 148 ROAD AVENUE, 3-CORNER, ON PG 343

DRAWING TITLE:
 RIGHT & LEFT SIDE ELEVATIONS

SCALE:
 1/4" = 1'-0"

DATE:
 FEBRUARY 14, 2023

DWG. BY:
 MARC G. LEVASSEUR

DWG. NO:
 10 OF 10

DWG. No.

A08

REVISED
A0114/2023
Sketch 10.

